

Report Title:	Datchet Design Guide Supplementary Planning Document – Regulation 14 Adoption
Contains Confidential or Exempt Information?	NO – Part I
Lead Member:	Councillor Coppinger, Lead Member for Planning, Environmental Services and Maidenhead
Meeting and Date:	Cabinet - 25 th Feb 2021
Responsible Officer(s):	Adrien Waite, Head of Planning
Ward affected:	Datchet, Horton and Wraysbury

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REPORT SUMMARY

1. The National Planning Policy Framework (NPPF) 2019 identifies the creation of high quality buildings and places as being a fundamental part of what the planning and development process should achieve.
2. The Datchet Design Guide (DDG) Supplementary Planning Document has been prepared in collaboration with the Datchet Neighbourhood Planning Group (constituted by the Parish Council), to provide specific design guidance to support decision making on development applications within the Datchet area.
3. Publication of a draft version of the DDG SPD for consultation took place in 2020. The responses received have been reviewed and a number of small changes are recommended to be made to the SPD as a result.
4. This report seeks approval for the adoption of the Datchet Design Guide, incorporating the recommended changes.

1. DETAILS OF RECOMMENDATION(S)

RECOMMENDATION: That Cabinet notes the report and:

- (i) **Approves the adoption of the final Datchet Design Guide Supplementary Planning Document with recommended changes.**

2. REASON(S) FOR RECOMMENDATION(S) AND OPTIONS CONSIDERED

- 2.1 The NPPF states at para 124 that “The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this.”

- 2.2 Para 125 states that “ Plans should, at the most appropriate level, set out a clear design vision and expectations, so that applicants have as much certainty as possible about what is likely to be acceptable. Design policies should be developed with local communities so they reflect local aspirations, and are grounded in an understanding and evaluation of each area’s defining characteristics. Neighbourhood plans can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development.”
- 2.3 The NPPF, in seeking to provide maximum clarity about design expectations at an early stage, states at Para 126 that Design Guides “provide a framework for creating distinctive places, with a consistent and high quality standard of design. However their level of detail and degree of prescription should be tailored to the circumstances in each place, and should allow a suitable degree of variety where this would be justified.”
- 2.4 The ambitions for the achievement of high quality development are also reflected in the design policies set out in the Council’s adopted, and emerging development plans. These policies set out broad or generalised direction of what high quality design means for this Borough. However, they do not provide locally specific guidance.
- 2.5 The production of this area specific Design Guide will provide clear, detailed and specific design guidance to support Council decision making on planning applications for development in Datchet.
- 2.6 The Design Guide has been prepared by Consultants working with The Council and Datchet’s Neighbourhood Planning Group. The document’s purpose is to secure high quality development in Datchet. It is not a mechanism or vehicle for restricting or limiting growth at Datchet.
- 2.7 It is important to note that the Datchet Neighbourhood Plan is still in its early stages of development.
- 2.8 The first stage in the preparation of the Datchet Design Guide Supplementary Planning Document was the publication of the draft Design Guide (under Regulation 13 of The Town and Country Planning (Local Planning) (England) Regulations 2012, as amended) for consultation purposes in Feb 2020. This stage facilitated development of the Design Guidance with local communities, ultimately encouraging ownership of the document across Datchet. The consultation draft Datchet Design Guide can be seen at:
<http://consult.rbwm.gov.uk/portal/spd/ddg/ddg?pointId=158254699533>
- 2.9 The draft Datchet Design Guide was generally well received and representations were made on many aspects of it. A range of groups made comments including statutory stakeholders, Datchet Parish Council, developers, agents and landowners, special interest groups and individuals. In total 30 consultation responses were received from 17 interested persons and bodies. The key themes emerging from the representations were:

- a) General support for the production of the guide and for its scope, quality and content
- b) Concern that the document is too specific
- c) Concern that it didn't cover flooding, highway issues and housing site allocation.
- d) Concern for lack of biodiversity enhancement
- e) Concern that the guide does not go far enough in relation to non-residential design

The statement on the consultation, which includes details of the consultation points raised, is contained in Appendix A.

2.10 Following a detailed review of the consultation responses a number of changes have been proposed to the Datchet Design Guide to enable it to be adopted. None of the changes are considered substantial with most being along the lines of clarifications, small additions and corrections to layout. The recommended changes are set out in Appendix B. These changes have been incorporated into the final version of the DDG.

Table 1: Options considered

Option	Comments
<p>Not adopt the Datchet Design Guide with the recommended changes.</p> <p>This is not the recommended option.</p>	<p>Officers do not consider this would be the right approach. It would leave the Council without the detailed guidance on what constitutes high quality design in Datchet and undermine the Council's ability to secure design excellence in new development and to resist poor quality development.</p>
<p>Adopt the Datchet Design Guide, but without including the recommended changes.</p> <p>This is not the recommended option.</p>	<p>Officers do not consider this would be the right approach to this important matter. This would result in the adoption of a document that ignored the valuable input of statutory stakeholders, development industry and the local community. This would minimise support for the adopted document.</p>
<p>Delay adoption of the Datchet Design Guide.</p> <p>This is not the recommended option.</p>	<p>Officers do not consider this would be the right approach to this important matter. This option would leave the Council with no detailed guidance to inform the development industry and local residents of the nature of the high quality development that it seeks in Datchet. This would make it more difficult to encourage high quality design and resist poor quality development during this time.</p>

Option	Comments
<p>Adopt the Datchet Design with recommended changes.</p> <p>This is the recommended option.</p>	<p>National planning policy requires the Council to provide maximum clarity at an early stage about their design expectations. Adoption of the Datchet Design Guide will ensure that this local design clarity is provided for the council, developers and the local community and enable the Council to achieve high quality design.</p>

3. KEY IMPLICATIONS

Table 2: Key implications

Outcome	Unmet	Met	Exceeded	Significantly Exceeded	Date of delivery
Adoption of the Datchet Design Guide	After 25 Feb 2021	By 25 Feb 2021	Before 25 Feb 2021	Before 25 Feb 2021	Feb 2021

4. FINANCIAL DETAILS / VALUE FOR MONEY

- 4.1 There are no financial implications to this paper. The production of the Datchet Design Guide is being funded through Planning Delivery Fund Design Quality funding

5. LEGAL IMPLICATIONS

- 5.1 There are no legal implications to this paper. The NPPF (Paragraph 126) expects Councils to use tools such as design guides to provide maximum clarity about its design expectations.

6. RISK MANAGEMENT

Table 3: Impact of risk and mitigation

Risks	Uncontrolled Risk	Controls	Controlled Risk
The Council is unable to resist poor quality new development in Datchet as it	HIGH	Adopt the Datchet Design Guide in Feb 2021.	LOW

Risks	Uncontrolled Risk	Controls	Controlled Risk
does not have detailed, locally specific guidance as to what constitutes high quality design.			

7. POTENTIAL IMPACTS

- 7.1 Adoption of the DDG-SPD will improve the ability of the Planning Department to negotiate for high quality design that is distinctive to Datchet.
- 7.2 As the Design Guide will only provide further detail and guidance on the adopted and emerging policies, rather than create new policy, it is not considered necessary to undertake an Equalities Impact Assessment (EQIA) specifically for the Design Guide.
- 7.3 The Equality Act 2010 - no implications
- 7.4 Climate change/sustainability - no implications
- 7.5 Data Protection/GDPR. - no implications

8. CONSULTATION

- 8.1 The Datchet Design Guide Supplementary Planning Document has been through both internal and external consultation including a 6 week consultation period in February 2020 under Regulation 13 of The Town and Country Planning (Local Planning) (England) Regulations 2012, as amended.

9. TIMETABLE FOR IMPLEMENTATION

- 9.1 Implementation date, if not called in, is contained in Table 4.

Table 4: Implementation timetable

Date	Details
Feb 2021	Adoption of the final Datchet Design Guide
March 2021	Publication of the Datchet Design Guide

10. APPENDICES

- 10.1 The Consultation Statement on the draft Datchet Design Guide Regulation 13 consultation forms Appendix A. The table of recommended changes to the DDG are contained in Appendix B.

11. BACKGROUND DOCUMENTS

11.1 This report is supported by the following background documents:

- The National Planning Policy Framework 2019, available at: <https://www.gov.uk/government/publications/national-planning-policy-framework--2>
- The Council's adopted and 'Made' Development Plan Documents, available at: <https://www.rbwm.gov.uk/home/planning/planning-policy/development-plan>
- The Council's emerging Borough Local Plan, available at: <https://www.rbwm.gov.uk/home/planning/planning-policy/emerging-plans-and-policies/draft-borough-local-plan>
- The Council's adopted Borough Wide Design Guide available at: <https://www.rbwm.gov.uk/home/planning/planning-policy/planning-guidance/adopted-supplementary-planning-documents-spds/borough-wide-design-guide-spd>
- The Draft Datchet Design Guide Supplementary Planning Document available at: <http://consult.rbwm.gov.uk/portal/spd/ddg/ddg>

12. CONSULTATION (MANDATORY)

Name of consultee	Post held	Date sent	Date returned
Cllr Coppinger	Lead Member for Planning	2 nd Feb 2021	2 nd Feb 2021
Duncan Sharkey	Managing Director	2 nd Feb 2021	-
Adele Taylor	Director of Resources/ S151 Officer	2 nd Feb 2021	17 th Feb 2021
Emma Duncan	Monitoring Officer	2 nd Feb 2021	-
Elaine Browne	Head of Law	2 nd Feb 2021	17 th Feb 2021
Nikki Craig	Head of HR, Corporate Projects and IT	2 nd Feb 2021	3 rd Feb 2021

Name of consultee	Post held	Date sent	Date returned
Louisa Dean	Communications	2 nd Feb 2021	-
Kevin McDaniel	Director of Children's Services	2 nd Feb 2021	-
Hilary Hall	Director of Adults, Health and Commissioning	2 nd Feb 2021	3 rd Feb 2021
Karen Shepherd	Head of Governance	2 nd Feb 2021	4 th Feb 2021

REPORT HISTORY

Decision type:	Urgency item?	To Follow item?
Key decision	No.	
Report Author: Victoria Gibson Team Manager Development Management		

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Royal Borough
of Windsor &
Maidenhead

Datchet Design Guide Supplementary Planning Document

Consultation Statement 2020

November 2020

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1. Introduction

- 1.1 In 2019 the Royal Borough of Windsor & Maidenhead (RBWM) in collaboration with the Datchet Neighbourhood Plan Group prepared a draft design guide covering types of design that were important to maintaining the character of Datchet. The purpose of the guide is to help deliver design excellence distinctive to Datchet by supporting Local Plan policies.
- 1.2 The draft Datchet Design Guide (hereafter referred to as the DDG) was consulted on in early spring 2020. This document is a Statement of Consultation for the DDG. Its purpose is to explain how the Council has complied with its Statement of Community Involvement and Regulation 12 of the Town and Country Planning (Local Planning) (England) Regulations 2012.
- 1.3 This statement sets out the methods RBWM used to engage with both statutory consultees, stakeholders and the community in the preparation of the DDG, including the following:
- Which bodies and persons were invited to make representations;
 - How those bodies and persons were invited to make representations;
 - How information was made available to be viewed;
 - A summary of the key issues raised through representations;
 - How those issues have been addressed in the document.
- 1.4 This statement should be read in conjunction with the Council's adopted Statement of Community Involvement 2020 ("SCI").

2. Regulation 12 Consultation

2.1 The Council published the Regulation 13 draft of the DDG for public consultation from 25TH February 2020 until 6pm on Tuesday 7 April 2020.

2.2 The purpose of the consultation was to invite feedback on the proposed approach set out in the guide.

Consultation Methodology

2.3 A range of methods were used to engage with all potentially interested parties during this period, in order to ensure the opportunity to make a representation. This included email, letters, website, newspaper ads, social media and provision of hard copies in Datchet Library, Datchet Parish Council and the Bridge Cafe

2.4 The following table provides details about each method used to distribute information about the consultation:

Table 2.1. Consultation methods

Method	Information distributed
Email Sent to all relevant organisations, groups and individuals on the Planning Policy consultation database.	Notification of consultation
Letter Sent to all relevant organisations, groups and individuals on the Planning Policy consultation database where no email address is known.	Notification of consultation (9 letters sent out)
Newspaper	The consultation was advertised in: <ul style="list-style-type: none"> Windsor Observer and Express Friday 6th March 2021
Quarterly Parish Magazine “ The Link”	Article included in March 2020 addition.
Leaflet produced by Neighbourhood Plan Steering Group	Placed in local shops, Bridge café, doctors, pubs, and local library.

Method	Information distributed
RBWM Council website	The website had banners notifying users and pointing them to the consultation documents via links.
Neighbourhood Plan Steering Group web site	The website alerted residents to the consultation on their landing page and provided the necessary links.
Social Media	Datchet Neighbourhood Plan Facebook page, Datchet Eye Facebook.
Hard copies	Hard copies were made available at Datchet Library, Datchet Parish Council offices and the Bridge café.
Drop In Event held Wednesday 11 th March between 3pm to 8pm at Datchet Village Hall.	Hard copies and officer available to answer questions and receive feedback.

2.5 The council has an extensive consultation database for planning policy work. The list includes individual residents, developers, businesses, Parish Councils, neighbourhood plan groups, community and voluntary groups, infrastructure providers, industry contacts, neighbouring authorities, government agencies and elected members. For the DDG a total of 3,841 people and organisations were contacted via the consultation database. Appendix 1 sets out the specific statutory stakeholders and community and business groups that were approached.

Material consulted on

2.6 The following documentation was consulted on during the consultation period:

- Reg 13 draft Datchet Design Guide;
- The Environment Agency, Natural England and Historic England were consulted on SEA Screening Statement.

2.7 The above documentation was made available via:

- The online consultation portal - <http://consult.rbwm.gov.uk/portal/spd/ddg/ddg?pointId=158254699533>

- Hard copies at the Datchet Library, Datchet Parish Office and the Bridge café.

Responding to the consultation

- 2.8 Interested persons and bodies were able to submit representations via a number of means including:
- Online via the consultation portal;
 - Emailing; and
 - Post
- 2.9 Respondents were encouraged to use a standardised representation form, or to utilise the consultation portal.
- 2.10 No comments were received on social media platforms Facebook.

3. The consultation response

Number of Representors

- 3.1 A total of 17 interested persons and bodies made Regulation 16 representations. The breakdown of the representors is as follows:

Representor group	No.
Consultees	7
Parish and Town Councils	1
Neighbourhood Plan Groups	0
Special interest groups	1
Developers, agents or land owners	1
Individuals (including hand written)	7

A full list of respondents is contained in Appendix 4.

Number of Representations & Representation Points

- 3.2 A number of the representors made more than one representation. In total 30 representations were received.

4. Summary of main issues raised in response to the consultation

- 4.1 Representations made on the DDG are summarised in Appendix 5 on a topic basis following the same format as the Design Guide. The summary contains details of the numbers of representors making the points, as well as the council's response.
- 4.2 The key themes emerging from the representations were:
- General support for the production of the guide and for its scope, quality and content
 - Concern that the document is too specific
 - Concern that it didn't cover flooding, highway issues and housing site allocation.
 - Concern for lack of biodiversity enhancement
 - Concern that guide does not go far enough in relation to non-residential design
- 4.3 Details of the consultation points raised, and the council's response to them, are contained in Appendix 5.

Appendix 1:

List of Statutory Consultees consulted:

Thames Valley Police	National Grid
Sport England	Network Rail
Natural England	Bracknell Town Council
Historic England	Spelthorne Borough Council
Runnymede Borough Council	Highways England
Greater London Authority	Reading Borough Council
MOD	The Crown Estate
Slough Borough Council	Wycombe District Council
Environment Agency	West Berkshire Council
Wokingham Borough Council	Home Office
Cabinet Office	MHCLG
Dacorum Borough Council	Office for Nuclear Regulation
Bucks County Council	Thames Water
South East Water	London Borough of Hillingdon

List of Parish Councils consulted:

Marlow Bottom Parish Council	Bray Parish Council
Cox Green Parish Council	Datchet Parish Council
Hurley Parish Council	Old Windsor Parish Council
Windlesham Parish Council	White Waltham Parish Council
Colnbrook & Poyle Parish Council	Warfield Parish Council
Winkfield Parish Council	Wraysbury Parish Council

Horton Parish Council

Chobham Parish Council

Taplow Parish Council

Sunningdale Parish Council

Eton Town Council

Sunninghill & Ascot Parish Council

Binfield Parish Council

Dorney Parish Council

Waltham St Lawrence Parish Council

Bisham Parish Council

Shottesbrooke Parish Meeting

Appendix 2: Media adverts and Poster

**THE ROYAL BOROUGH OF
WINDSOR & MAIDENHEAD**

**PLANNING AND COMPULSORY PURCHASE ACT 2004
TOWN AND COUNTRY PLANNING (LOCAL PLANNING)
(ENGLAND) REGULATIONS 2012 (AS AMENDED)
DATCHET DESIGN GUIDE SUPPLEMENTARY PLANNING
DOCUMENT (REG 13)
DRAFT FOR PUBLIC CONSULTATION FEBRUARY 2020**

The Royal Borough of Windsor & Maidenhead in collaboration with the Datchet Neighbourhood Plan Steering Group is preparing a Datchet Design Guide which supports Local Plan policies by setting out in detail what the Council considers to be design excellence. The Design Guide will help guide and improve the quality of new development in Datchet and provide guidance to council members, officers, developers and local communities on how to ensure future development has the required high quality and inclusive design.

The consultation will run from **Tuesday 25 February** until **6pm on Tuesday 7 April 2020**.

Residents, businesses and stakeholders are also invited to attend a drop-in session on **Wednesday 11 March between 3pm and 8pm** where an officer will be available to answer any questions. This session will take place in Datchet Village Hall, 3, Allen Way, Datchet, Berkshire SL3 9HR.

Documents and response forms can be viewed in the following locations:

- On the Royal Borough of Windsor & Maidenhead website at: https://www3.rbwm.gov.uk/info/201027/planning_guidance/1441/emerging_supplementary_planning_documents_spd
- In paper form at Datchet Library, Datchet Parish Council Office and at The Bridge, 24 The Green, Datchet, Berkshire SL3 9EH

Comments can be made in the following ways:

- Online via our consultation portal - <http://consult.rbwm.gov.uk/portal/spd/ddg/ddg>
- Or by completing a response form and sending it by email to planning.policy@rbwm.gov.uk or by post to Planning Policy, The Royal Borough of Windsor & Maidenhead, Town Hall, 51 Ives Road, Maidenhead, Berkshire SL6 1RF

Comments must be received no later than 6pm on Tuesday 7 April 2020.

If you have any further enquiries, please contact Planning Policy at planning.policy@rbwm.gov.uk or by telephone on 01628 796357.

**DATCHET DESIGN GUIDE
CONSULTATION**





The Royal Borough of Windsor & Maidenhead in collaboration with the Datchet Neighbourhood Plan Steering Group is preparing a Datchet Design Guide. The Design Guide will help guide and improve the quality of new development in Datchet.

Residents, businesses and stakeholders are invited to attend a drop-in session on **Wednesday 11 March between 3pm-8pm** where an officer will be available to answer any questions. This session will take place at Datchet Village Hall, 3 Allen Way, Datchet, SL3 9HR.

**Drop-In Session at Datchet Village Hall
Wednesday 11 March 3pm-8pm**

Additional drop-in sessions will be held by the Datchet Neighbourhood Plan Steering Group on **Saturday 21 March**. For details, visit www.datchetneighbourhoodplan.org

**The consultation will run from Tuesday
25 February to 6pm Tuesday 7 April 2020**

Documents and details of how to respond can be viewed on the council website: <http://bit.ly/2wYGLN>

If you have any further enquiries, please contact the Planning Policy team by email at planning.policy@rbwm.gov.uk or by telephone at 01628 796357

Appendix 3 – Landing Page

Datchet Design Guide Supplementary Planning Document

The Royal Borough of Windsor & Maidenhead in collaboration with the Datchet Neighbourhood Plan Steering Group is preparing a Datchet Design Guide which supports Local Plan policies by setting out in detail what the Council considers to be design excellence. The Design Guide will help guide and improve the quality of new development in Datchet and provide guidance to council members, officers, developers and local communities on how to ensure future development has the required high quality and inclusive design.

The Design Guide is now subject to consultation. The consultation commences on Tuesday 25th February and will run until 6pm on Tuesday 7th April 2020.

Residents, businesses and stakeholders are also invited to attend a drop-in session on Wednesday 11th March between 3.00pm and 8.00pm where an officer will be available to answer any questions. This session will take place in Datchet Village Hall, 3, Allen Way, Datchet, Berkshire SL3 9HR.

Drop-In Session Wednesday 11th March 2020

3.00pm to 8.00pm Datchet Village Hall, 3, Allen Way, Datchet

All comments received will be considered as part of the process for preparing the final document. We will be publishing a summary of all comments received on our website in due course as part of the consultation statement.

Viewing the document:

To view the Design Guide:

- click on the document entitled 'Datchet Design Guide_R13 Consultation Draft' under the 'Supporting Documents' tab below; or
- click on the 'View and Comment' button below which will open a form from where you can download the Design Guide.

Making comments:

Click on the 'Login/Register' at the top of this page. Once logged in clicking on the 'View and Comment' button will open up a form to complete and submit online.

Alternatively, complete the representation form (available in the Supporting Documents tab below) then return it to us either

- By email to planning.policy@rbwm.gov.uk or
- By post to Planning Policy, Royal Borough of Windsor & Maidenhead, Town Hall, St Ives Road, Maidenhead, SL6 1RF

All comments must be received by the council by 6pm on Tuesday 7th April 2020.

Appendix 4: People and groups responding

Consultation Body Type	Name of responding individual or organisation
Neighbouring Authorities	Nil
Consultees	Highways England Transport for London Sport England Historic England Natural England Environment Agency RBWM Conservation Officer
Parish and Town Councils	Datchet Parish Council
Developers and landowners	Claremont Planning Eurpreon Property Ventures
Resident and Interest Groups	Berkshire Gardens Trust
Individuals	7 individuals including handwritten made representations

Appendix 5: Main issues raised by respondents to Regulation 19 DDG publication – by topic

This appendix is extensive and has been produced as a stand-alone document.

Appendix 5 Datchet Design Guide Consultation Statement

Section 1 Why Design in Datchet			
Reference	Summary of comments	Number	Response
1.2 Strategic Design Themes	The Environment Agency requested that flooding is highlighted as an issue for the whole area and that development should be designed to reduce flood risk to occupants and prevent increases in flood risk in the wider area.		Noted. The Datchet Design Guide covers design guidance which is specific to Datchet. Reference will be made to guidance provided in this regard by the Borough Wide Design Guide, Borough Local Plan, National Design Guide and National Planning Policy Framework (NPPF).
1.2 Strategic Design Themes	<p>European Property Ventures asked that RBWM Strategic Design Themes be applied consistently. Site HA41 is a feasible development site with potential to provide an alternative road around high-risk flood areas and mitigate congestion.</p> <p>The Design Guide should be used to promote sustainable travel through use of the local bus and railway.</p> <p>HA41 is suitable to accommodate employment and commercial uses. The design guide provides no formal advice upon the delivery of new employment premises.</p> <p>Recommended changes</p> <ol style="list-style-type: none"> i. Include consideration of mixed use schemes, alongside the provision of public spaces, facilities and new linkages. ii. Amend RBWM strategic theme. Delete ‘vehicular access’ and replace with ‘dominating highway design’. iii. Include guidance on flood resilience in existing and new development. Flood modelling data shows large areas of HA41 defended from flooding. Alternative route through HA41 could be part of flood resilience strategy and would reduce congestion. iv. The possibility of mixed use development should be advanced. Developments of new employment/ commercial units should be appropriately advised through the design guide and not restricted in their design. (Relevant when considering acoustic mitigation, flood risk, and sustainable building/insulation standards that incorporate green technologies.) 		<p>Development Plan policies and National Planning Guidance promotes sustainable travel this was not a topic for this Design Guide.</p> <p>Generic good design for employment premises is covered in the Borough Design Guide</p> <p>The Datchet design guide cannot promote mixed use sites.</p> <p>Flooding is covered in the Councils SPD “Interpretation of Local Plan Policy F1 – Flooding” This SPD specifically relates to flooding and is due to be updated.</p>

1.4 Designated Heritage Assets	Conservation Officer requested that applications for, or within the setting of, a designated heritage asset should be advised to consult the Conservation Officer before committing significant resources to design. Not all elements of the Design Guide are appropriate for all heritage assets.		Noted. Document will be updated to reflect this.
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Section 2 Datchet Wide Design			
Reference	Summary of comments	Number	Response
2.2 Rural Areas	Environment Agency. Flooding should be highlighted as a key issue for the area <i>as a whole</i> not just in rural areas.	1	Noted. Clarification will be provided.
2.3 Historic Environment	Conservation Officer. Any development within the conservation area or in a setting of a listed building will need more attention regarding design.	1	Noted. Content will be revised to include this.
2.3 Maps	Conservation Officer. Suggested replacing historic sequence of maps with a map showing location of designated heritage assets (listed buildings and monuments) to make residents more aware of the surrounding assets.	1	Noted. Information on listed buildings is readily available. The historic sequence of maps provides specific information about the development of the settlement which is relevant to the character areas.
Section 2	Requests that flood mitigation design should be mentioned specifically.	4	Noted. Flood mitigation is covered in the design of boundary walls, frontages and planting. The Council's SPD Interpretation of Local Plan Policy F1 (flooding) should be read in conjunction with the Datchet Design Guide and Borough Wide Design Guide. Design in flood zones is also covered by the Borough Local Plan, National Design Guide and NPPF.

Chapter 3 Character Areas			
Reference	Summary of comments	Number	Response
3.1 Introduction	<p><u>EPV Diag 1, Principle 2 [Character Areas map p16 and principles p17]</u></p> <p>The identification of character areas is supported. Recommendation of particular design aspects is advanced logically.</p> <p>HA41 has the potential to provide development within Approach Routes (Slough Road) character area. The guidance does not go far enough with respect to advising upon new development schemes. The potential for new development to enhance the entrance to Datchet should be utilised through increased form or landscaping treatments.</p> <p>Development at HA41 could provide such an entrance feature on Slough Road alongside a highway junction that would mark the entrance characteristics. To allow new development to present opportunity within these character areas, it is advised that the existing form and scale of development is used to influence design but not limit its potential.</p> <p>Page 17: The introductory text to the character areas advises that where commercial uses are proposed, they should follow the design of existing shops and commercial units within the Historic Core. However, the fact that the SPD has identified four different character areas would indicate that there is variety across the settlement, with reproduction of the historic core architecture questionable within other character areas and sites. This reference could restrict the design scope for new developments and the building technologies to be used, unnecessarily prescribing design measures with Datchet.</p> <p>Recommended changes:</p> <ul style="list-style-type: none"> • Improve introduction to the Character Areas Chapter 3 by clarifying the reference to commercial unit design so that new building techniques and contemporary design are not resisted unnecessarily. This is especially relevant when considering development on sites 	1	<p>Encouraged to note support for identification of character areas.</p> <p>The Datchet Design Guide cannot cover the delivery of land for development.</p> <p>Important gateways can be incorporated into a Neighbourhood Plan.</p> <p>Design advice for commercial/retail units will be clarified.</p> <p>This design guide is guidance only with its key aim to improve design quality. It does not restrict good innovative design or bespoke design solutions if required to overcome certain constraints, subject to them not causing harm to the character and appearance of the area.</p> <p>The design guide does not require replication of the type of design appropriate in Datchet's Historic core to a large edge of settlement commercial development. This wording has been clarified.</p>

	<p>that are not close to the historic core and within a different character area.</p> <ul style="list-style-type: none"> • New developments to deliver new homes and employment/commercial units should not be restricted in design. This is particularly relevant when considering the need to overcome technical constraints such as acoustic mitigation as well as sustainable building/insulation standards that incorporate green technologies. • Revise wording on p17 in respect of Commercial Development through the inclusion of the term 'where relevant' to ensure a degree of flexibility can be applied. • Enlarge Approach Routes character area along Slough Road to include a larger area to the north of the road, including (HA41) land promoted and considered by the Council for a wider mixed use development allocation. The potential of providing an entrance feature design and landscaped road junction can then be addressed through this design code. 		
Character areas	A respondent from Datchet Parish Council noted that the Datchet Design Guide has greater focus on the village centre and much less on peripheral streets, especially the longer roads which all have several different styles of buildings in each section, eg London Road and Horton Road. The whole area bounded by London Road / Link Road / Horton Road / and Ditton Road seems to be ignored as is the whole area around Holmlea Road.	1	Noted. The areas listed are covered in guidance provided by the Borough Wide Design Guide, National Design Guide, and the general guidance in the Datchet Design Guide. The Character Areas focus on those sections of Datchet which display locally-distinctive patterns of design.
Character areas	Ian Thompson, Parish Councillor, does not think Datchet Design Guide is fit for purpose or relevant. The guide is too 'restrictive to character housing', places too much emphasis on Victorian/Edwardian Housing/Shops, and does not provide clear indications of modern features that can be considered in housing design. Character Areas should cover housing from 1930s to 1970s, and Guide should include Montrose Avenue Estate, and Victorian housing in Ditton Road and	1	Noted. The features and areas specified are covered in guidance provided by the Borough Wide Design Guide, National Design Guide and the general guidance in the Datchet Design Guide. The Character Areas focus on those sections of Datchet which display locally-distinctive patterns of design. The Datchet Design Guide is not able to

	<p>modern housing which integrates with village character, ie Ellesmere Close. Requests extension to Conservation Area to include the old garage and first bay of neighbouring flats but notes the Historic Core section covers this area.</p>		<p>determine the perimeter of the Conservation Area but, as noted, the Historic Core character area includes the buildings specified.</p>
<p>3.5 Approach Routes</p>	<p><u>EPV Chapter 3, paragraph 3.5, Diagram 10 (approach routes), Principle 2 (Character Areas)</u></p> <p>The identification of character areas is supported. The guidance should cover the potential for new development at HA41. (HA41 has the potential to offer a new highway access; provide an entrance feature on Slough Road; remove the single-sided development along Slough Road; resolve ongoing issue with parking on grass verges; include overspill / visitor car parking to remove the current car parking infringements along Slough Road.) The identification of solutions to the listed problems would inform the consideration of new developments.</p> <p>Recommended changes</p> <ul style="list-style-type: none"> • Define the north and south Approach Routes character areas separately, particularly given the interaction of the northern area with Churchmead School. • The table provided on page 31 [<i>Key features of the Approach Routes, positive and negative</i>] could include a column providing solutions to the listed negatives. The SPD does not set out clearly the purpose of the table and how new development should be informed by the guide. • New developments to deliver new homes and employment/ commercial units should not be restricted in design. (As before.) • The Approach Routes Character Area should include HA41 and address the potential of providing an entrance feature design and landscaped road junction. 	<p>1</p>	<p>The purpose of the design guide is not to provide solutions for specific sites but rather to highlight key characteristic and good design within Datchet to promote local distinctiveness to help influence new development coming forward.</p> <p>These requirement go above and beyond the scope of the document.</p>

Approach Routes image record, p32	Conservation Officer advises that front balconies would not be acceptable within all developments and requests deletion of the image showing a balcony.		Noted however the building in the image queried is not in the Conservation Area and it is explained that the design principles do not all apply to the Conservation Area. The caption indicates that the purpose of this image is to show the design of the bay window, porch and boundary treatment. The Borough Wide Design Guide specifies design for balconies in new developments.
Approach Routes image record, p32	Conservation Officer advises that front-facing dormers are not a traditional feature and should not be shown as a positive aspect which enhances an area as they are not usually permitted. (Image captioned 'Gables and dormers hung with matching decorative tiles').	1	Noted. The image will be amended to reflect this.

Chapter 4 Design Detailing			
Reference	Summary of comments	Number	Response
4.2 Windows and entrances	Conservation Officer requests removal of image on page 37 of uPVC window and caption which refers to the window 'successfully imitating' a sash window as this is subjective. uPVC is not traditional and should not be encouraged, especially on listed buildings and within conservation areas.	1	Noted. This image, which is not from the Conservation Area or a listed building, will be replaced. Applicants will be encouraged to retain traditional styling in keeping with the original property.
4.3 Roofs and walls	Conservation Officer. Tile hanging was used to protect timber-framed buildings, but on modern buildings is used for decorative purposes. Also, brickwork detailing can look overwhelming, and designs should be kept relatively simple.	1	Noted. The text will be changed to reflect these points.
4.3 Roofs and walls	Resident recommended expanding guidance for roofscape features to include good design examples of <ul style="list-style-type: none"> rainwater goods - PVCu systems are often in colours and profiles that fail to complement historic examples on neighbouring properties); roof lights - the popular chunky, timber-framed units are more intrusive than the variety of metal 'conservation' models which sit 	1	Noted. These subjects are covered separately in the Borough Wide Design Guide.

	<p>almost flush with the roofscape and are normally top hung so in use are less visually assertive than centre pivot types.</p> <ul style="list-style-type: none"> • Dormers - if new dormers are justified they ought to be based on the best traditional proportions and designs. Large box-like roof extensions inevitably harm the appearance of the roof scape and should be avoided. 		
4.4 Utilities and storage	RBWM Conservation Officer. Planning permission would be needed for external storage areas as boundary treatments, if they were located beyond the front wall as the boundary would be altered.	1	Noted.
4.3 Roofs and walls, 4.4 Boundary treatments	<p>EPV Chapter 4, paragraph 4.3, 4.4, Principle 3 <i>[Design Detailing, 4.3 Roofs and walls p38, 4.4 Boundary Treatments p40, Principle 3 p36.]</i></p> <p>There is no reference for household alterations and new developments to be made flood resilient with raised services and build levels. Aspirations and benefits of making existing development flood resilient should be identified more clearly. Solutions for avoiding flood water should be recommended (route through HA41 as before).</p> <p>Recommended changes</p> <ul style="list-style-type: none"> • DDG should advise how properties within flood-prone areas could be made flood resilient. Equally how design should be used in new development to mitigate flood impacts. New flood modelling data shows HA41 defended from flooding • Design Guide should identify means to bypass areas of Datchet that are most regularly affected by flooding. It should support this (bypass) proposal or set out how a positive flood resilience strategy will be provided for Datchet. • The possibility of mixed use development should be advanced through the Design Code. • Addressing the impacts of flooding at Datchet should be a key consideration with respect to new development. (Comparison with AL39 flood zones.) 	1	<p>Flooding resilient measures are an issue across the Borough and are covered by other guidance.</p> <p>These suggestions go above and beyond the scope of the Datchet Design guide.</p>

	<ul style="list-style-type: none"> The Design Code should propose flood resilience within new developments to ensure their longevity. 		
4.4 Boundary treatments, walls	Environment Agency: This section encourages use of decorative openings to allow water to disperse. Walls (and fences) can have a significant impact on the flow and storage of flood water, especially if constructed across a flood flow route. We request the wording at the end of section 4.4 is changed to: <i>'Inclusion of this type of feature is positively encouraged and ground level openings will be required for any new walls in areas of high flood risk to ensure the free flow of flood waters'</i> .	1	Noted. The wording will be changed to reflect this.
4.4 Boundary treatments	Resident supported the retention of boundary walls/fences/hedges and grass verges.	1	Encouraged to note.
4.6 Planting Palette	Resident requests inclusion of the following in the advisory preface: "Ideally for biosecurity, hedge and boundary planting should be of UK grown and raised native specimens."	1	Noted. The guide will be updated to reflect this.
4.6 Planting Palette	Environment Agency. Add <i>'Planting of native species is especially encouraged'</i> as native plants are required in order to protect and enhance biodiversity.	1	Noted. The text will be amended to encourage the use of appropriate native and wildlife-friendly species.

Chapter 5 Shopfronts			
Reference	Summary of comments	Number	Response
5.2 Shopfront Layout	Conservation Officer. Add 'materials' to the end of the last paragraph in this section. On the large shop-front diagram, the line points to the window not a console bracket.	1	Noted. The requested amendments will be made.
5.3 Detailing, Projecting features and Lighting	Conservation Officer. Add the word 'design': 'It is particularly important that extruded fixtures are of a high quality <i>and design</i> '. Remove Winkworth lighting image as this amount of lighting within a Conservation Area would not be considered acceptable.	1	Noted. The updated document will include these changes.
Commercial unit design	EPV The design guidance should not simply refer to the replication of traditional retail units, with modern working arrangements and industry requirements often requiring different floor-space arrangements. Recommended changes:	1	Design advice for commercial/retail units will be clarified.

	<ul style="list-style-type: none"> • Include consideration of mixed use schemes alongside the provision of public spaces, facilities and new linkages. • Advice on new developments to deliver new employment/commercial units should be given. They should not be restricted in their design. 		<p>The purpose of the design guide is not to provide solutions for specific sites but rather to highlight key characteristic and good design within Datchet to promote local distinctiveness to help influence new development coming forward.</p> <p>More generic design advice for commercial units is given the Borough's Design Guide.</p>
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General comments			
Housing provision	Datchet Parish Council. Recent development has not been aimed at providing homes needed by young people.	1	Noted. Housing delivery is beyond the scope of a parish design guide.
Graphic design	Datchet Parish Council liked the layout and ease-of-use, character areas, positive and negative features and image records – these cover those aspects which are important to creating a sense of place.	1	Encouraged to note.
Graphic design	Comments on attractive layout but colour spots on the side of the page are inconsistent. Picture captions are hard to read in the lighter colours.	2	Encouraged to note. This will be corrected and legibility improved.
Housing density and parking	A resident commented on housing density and parking on both sides of the road obstructing access for fire engines.	1	Noted. Housing density and highways issues are beyond the scope of a parish design guide.
General support	Datchet Parish Council is happy to support the Datchet Design Guide and wish to thank all those involved in its conception.	1	Encouraged to note
General support	Berkshire Gardens Trust/Gardens Trust commend the authors of this document which captures the variety of architecture in the old village of Datchet and if followed, will preserve the variety for future generations.	1	Encouraged to note
No comment	Historic England, Transport For London and Highways England replied with no comments.	3	Noted
Vehicle charging points	Sport England asked that the guide should highlight best practice for charging points for private vehicles, eg as part of existing street furniture.	1	Noted. This is covered in emerging Development Plan policies and national planning guidance.

Traffic flow	Resident said there is an opportunity to improve the traffic flow through Datchet by constructing a relief road from London Road alongside the M4 to Slough Road before new housing goes ahead. Datchet is way overdue better cycle lane access.		Noted. Highways design is beyond scope of the Datchet Design Guide. RBWM's Cycle Action Plan covers potential improvements to the local cycle-path network.
Green infrastructure and biodiversity	Natural England. Consider provision for Green Infrastructure within development, and maintaining/ enhancing networks of habitats. Consider the protection of natural resources, eg air quality, ground and surface water, soils within urban design plans. There may be significant opportunities to retrofit Green Infrastructure in urban environments, eg green roof systems and roof gardens; green walls to provide insulation or shading/cooling; new tree planting; altering land management, such as verges, to enhance biodiversity. For features which are beneficial to wildlife, see para 118 of the NPPF . Consider providing guidance on, for example, bat roost/bird box provision within built structures, and measures to enhance biodiversity in the urban environment. Para 180 NPPF also includes design principles to consider, including the impact of lighting on landscape and biodiversity.	1	Noted. The Datchet Design Guide focuses on locally-specific design guidance which is not already provided by the NPPF, National Design Guide, Borough Local Plan, or Borough Wide Design Guide. Verges are noted as a significant characteristic of Datchet in RBWM's Landscape Character Assessment and their inclusion in new development is encouraged. Bat roosts and bird box provision is covered in the Borough Wide Design Guide. Provision for wildlife may also be encouraged in the scope of a Neighbourhood Plan.
Landscape enhancement	Natural England. Landscape enhancement. Consider opportunities to enhance the character and local distinctiveness of the natural and built environment; to use natural resources more sustainably and to bring benefits for the local community. Consider how new development might make a positive contribution to the landscape through sensitive siting and good design and avoid unacceptable impacts. For example, it may be appropriate to seek that, where viable, trees should be of a species capable of growth to exceed building height and managed so to do, and where mature trees are retained on site, provision is made for succession planting so that new trees will be well established by the time mature trees die.	1	Noted. The Datchet Design Guide focuses on locally-specific design guidance which is not already provided by other sources such as the NPPF, Borough Local Plan and Borough Wide Design Guide. The positive contribution made by appropriate planting is mentioned on p45, and larger trees are encouraged where space allows.
Flooding	A resident noted that the risk of flooding is a major issue for the village. The Design Guide should include emphasis on property-level protection	1	Noted. The Datchet Design Guide focuses on locally-specific design. Property-level flood protection is a wider issue, covered in the NPPF,

	and property flood resilience, particularly for new developments and significant property modifications and extensions.		National Design Guide, Borough Local Plan, and Borough Wide Design Guide. RBWM is also developing Supplementary Planning Documents on both Climate Change Strategy and Flooding.
River Thames Scheme	Cllr Ian Thompson: The Datchet Design Guide should include design of the River Thames Scheme, National Design Guide content, details of flood alleviation schemes, barrel arch, flood protection, stormwater containment, as well as guidance on the proximity of housing to M4 and pollution with reference to the Paris Climate Change agreement; and Recreation Ground ditch re-profiling.	1	Noted. The Guide is intended to provide a framework for Datchet-specific design matters and, as such, should not duplicate the content in the National Design Guide or Borough Wide Design Guide. The design of national flood alleviation schemes and air quality management are beyond the scope of the Datchet Design Guide. RBWM is currently developing a Climate Change Strategy, and a Supplementary Planning Document on Flooding.

DATCHET DESIGN GUIDE

FEBRUARY 2021



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1. WHY 'DESIGN' IN DATCHET

1.1 INTRODUCTION

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1. WHY 'DESIGN' IN DATCHET?

1.1 Introduction

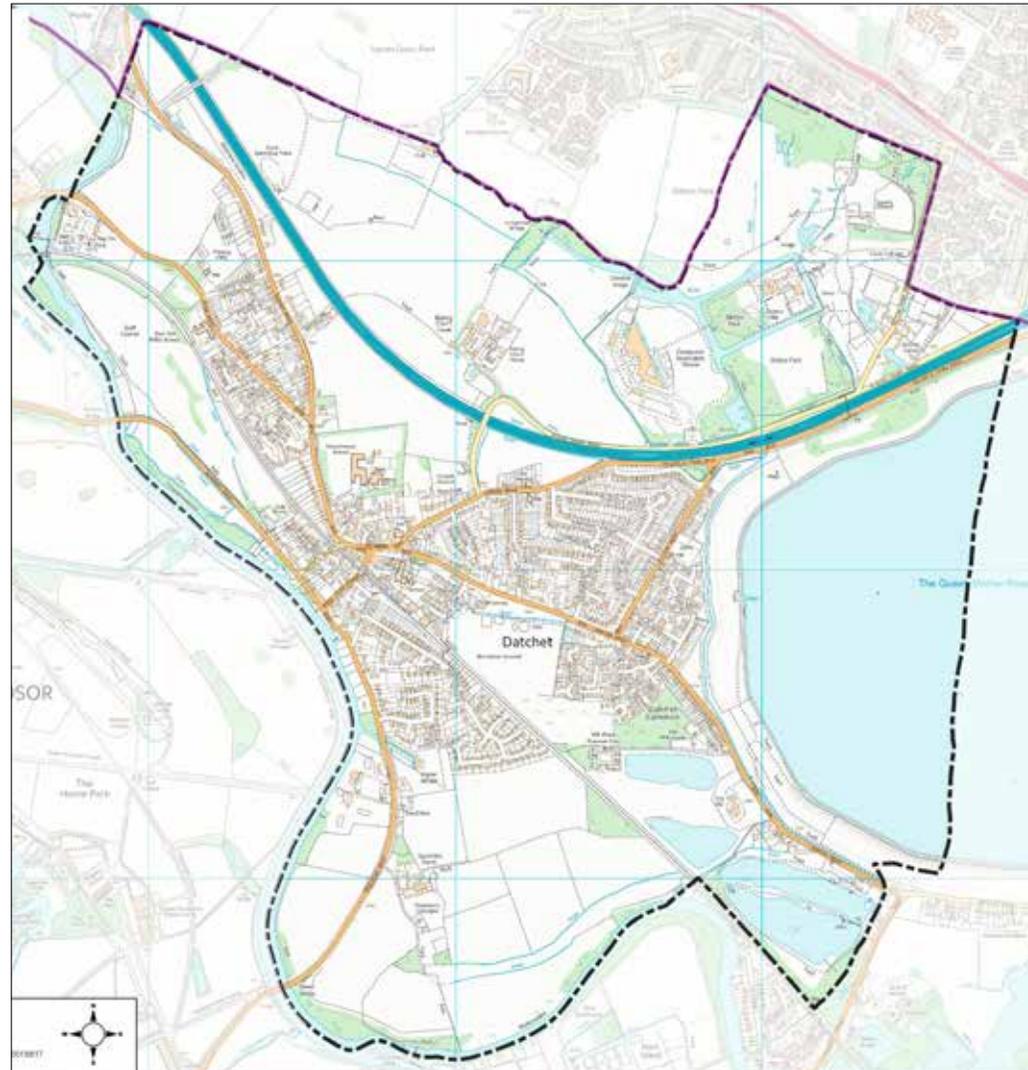
The Datchet Design Guide (DDG) reflects The Royal Borough of Windsor & Maidenhead's (RBWM) desire to support and encourage design quality within the parish.

Good design can have a positive, immediate and long-lasting impact on the quality of life of the whole community and the sustainability of the village. This Design Guide has been prepared in order to support design excellence in Datchet.

The DDG focuses on identifying the design quality which makes the parish of Datchet a distinctive and attractive place and ensuring that these elements are maintained and replicated across the parish.



The Public Riverside Gardens



Map 1: Datchet Parish Boundary indicated by dotted line.

1.2 Strategic Design Themes

The DDG seeks to build on the Strategic Design Themes identified in the Borough Wide Design Guide³ and put them within the local context.

Putting People First

RBWM intends to prioritise development which is human in scale, supports health and wellbeing and places people, communities and safety at the heart of decision-making on design, rather than vehicular access, or short-term commercial gain. This principle is wholeheartedly supported in Datchet where, in numerous areas, the quality of the environment is being eroded by development which encourages car use and does not promote positive design.

Creating a Sense of Place

The DDG wishes to identify the critical elements of the immediate local context which give Datchet its character and the elements which can preserve, enhance and expand its high-quality spaces and maintain its strong positive identity.

Delivering Sustainable Places

The DDG seeks to provide clarity and give inspiration to applicants, encouraging them to include the design elements within their project. It aims to protect and improve the local environment by initiating and supporting sustainable development that takes into account climate change, biodiversity and flooding issues as covered in the Borough Wide Design Guide (Principle 11.1), the Borough Local Plan, the National Design Guide and National Planning Policy Framework.

Improving Quality

The DDG aims to ensure that high-quality design is the standard approach throughout the parish, not just in those areas deemed to be of historic and cultural value and already rich in quality architecture and streetscape. The purpose of identifying those places of value, is to then be able to spread that quality throughout the Parish through increasing the design quality of all applications, no matter their location.



1. WHY 'DESIGN' IN DATCHET

1.3 Policy Status & Scope

The DDG is a parish-wide design guide which has been adopted by the Royal Borough as a Supplementary Planning Document (SPD) to support Local Plan¹. It has also been prepared to support emerging policies in the draft Borough Local Plan (BLPSV)².

Applicants will be expected to take the DDG policies into account, along with the requirements of any locally specific design policies in adopted, made, or emerging plans and in other SPDs including the Borough Wide Design Guide³.

National Planning Policy Framework (NPPF) (February 2019, as amended in June 2019)

High quality and sustainable design is fundamental to what the National Planning Policy Framework (NPPF) seeks to deliver, with the Government expecting local authorities to be clear about design expectations (Para 124), and reflective of local aspirations (Para 125). Para 130 of the NPPF states that permission should be refused for development of poor design that fails to contribute positively and improve the character and quality of an area.

Local Plan Policy

Local adopted borough-wide design policies can be found in the saved policies of the adopted Local Plan¹. The principle

design related policy is DG1 - Design Guidelines, which sets out 11 overarching principles that apply to all forms of new development.

The DDG provides additional locally specific design policy which should be applied in combination with the overarching design policy contained in the Borough Wide Design Guide.

Conservation Area Appraisal 1995

The DDG should be used in combination with the Datchet Conservation Area Appraisal 1995⁴. At the time of writing the Conservation Area Appraisal has been identified by RBWM as requiring review, and applicants should ensure that they are utilising the most up to date information.



High Street



Datchet Village Pharmacy



Datchet House

1.4 User Guide

This design guide covers all types and scales of development including new buildings, extensions, demolition, changes of use, intensification and alterations, shopfronts and signage. Applicants should note the following advice for specific types of application.

Householder Applications

Those seeking to make householder applications should:

- familiarise themselves with the parish-wide issues set out in Chapter 2 and how they may relate to the application
- identify whether the property lies within, or adjacent to, a character area for design information for specific streets (See Chapter 3)
- utilise the overall advice provided in Chapter 4 to ensure successful design detailing for all projects

Commercial Property

Those making applications for change of use to retail use, new retail property or amendments to existing retail property (including change of use) must pay particular attention to Chapter 5. The detailing information in Chapters 3 & 4 may also be relevant to general commercial applications. Further advice can also be found in Chapter 12 of the Borough Wide Design Guide

Development Proposals

Those considering applications for projects beyond the scope of individual householder applications, must first satisfy themselves that their application meets the requirements of overarching policies within the current Local Plan, and particular care should be applied to understanding the parish-wide issues set out in Chapter 2.

When developing detailed proposals applicants should utilise the information in Chapter 3 setting out the design qualities of the most successful parts of Datchet, and must demonstrate how these qualities have been integrated in the application's design approach. Particular attention must be paid to locally-specific architectural detailing as set out in Chapter 4.

Pre Application Advice

All applicants are strongly encouraged to undertake pre-application discussions with the Local Planning Authority.

Heritage Assets

Applications for, or within the setting of, a designated heritage asset are advised to consult the Conservation Officer before committing significant resources to design. Not all elements of the Design Guide are appropriate for all heritage assets.



Individual home extension, Horton Road



Commercial frontages High Street



Contemporary development of flats, Gables Close

Endnotes

1 Royal Borough of Windsor and Maidenhead
Local Plan, adopted 1999, incorporating 2003 saved
policies

2 The Borough Local Plan 2013 -2033: Submission
Version (BLPSV) was submitted to the Secretary of
State for Examination in January 2018

3 Royal Borough of Windsor & Maidenhead Borough
Wide Design Guide, adopted June 2020

4 Conservation Area Appraisal 1995 - Datchet
Village, March 1995, Royal Borough of Windsor and
Maidenhead

2. DATCHET WIDE DESIGN

2.1 INTRODUCTION

2.2 RURAL AREAS

2.3 HISTORIC ENVIRONMENT



2. DATCHET WIDE DESIGN

2.1 Introduction

The primary purpose of the Datchet Design Guide is to identify the detailed design approaches and features which give Datchet its unique character. However there are a number of parish-wide issues, which can have a significant impact on design, which applicants should be aware of, and have regard to in the design process.

Applicants considering proposals within both urban and rural areas must initially establish the wider strategic planning policy which is applicable. There are a number of key issues related to development in Datchet which applicants should be aware of. This may include, but is not limited to:

- Green belt
- Proximity to Queen Mother Reservoir
- M4 motorway
- Heathrow Airport
- Listed buildings, non-designated heritage assets and Conservation Area
- Trees and woodland
- Archaeology
- Flood risk*

If the proposal meets the strategic policy requirements, then applicants should:

- identify if one of the character areas is applicable and utilise the detail provided in Chapter 3. This is likely to be particularly relevant to projects involving existing properties
- ensure the project meets the detailing requirements in Chapter 4.

*The challenges created by flooding are recognised as a significant issue throughout the parish, impacting both rural areas and the centre of Datchet. It is essential that development does not exacerbate flooding problems, and where possible should provide alleviation. Applicants should consult information provided by the Environment Agency (www.gov.uk/check-flood-risk) and utilise the design advice set out in Chapter 11 of the Borough Wide Design Guide.



Green belt near Datchet including Ditton Park and Queen Mother Reservoir

2.2 Rural Areas

While the DDG is focused on detailed design issues impacting on the built environment, it is important to draw attention to the fact that large parts of the parish are rural in character, and that this document is still an important resource and relevant policy document.

Principle 1: Datchet-Wide Design

Applicants must ensure that they respond positively to the advice provided in regard to any new development in Datchet, in urban, rural and historic settings.



Flooding on The Green in 2014



M4 Motorway near Datchet



Ditton Park (Grade II Listed, Registered Park & Garden)



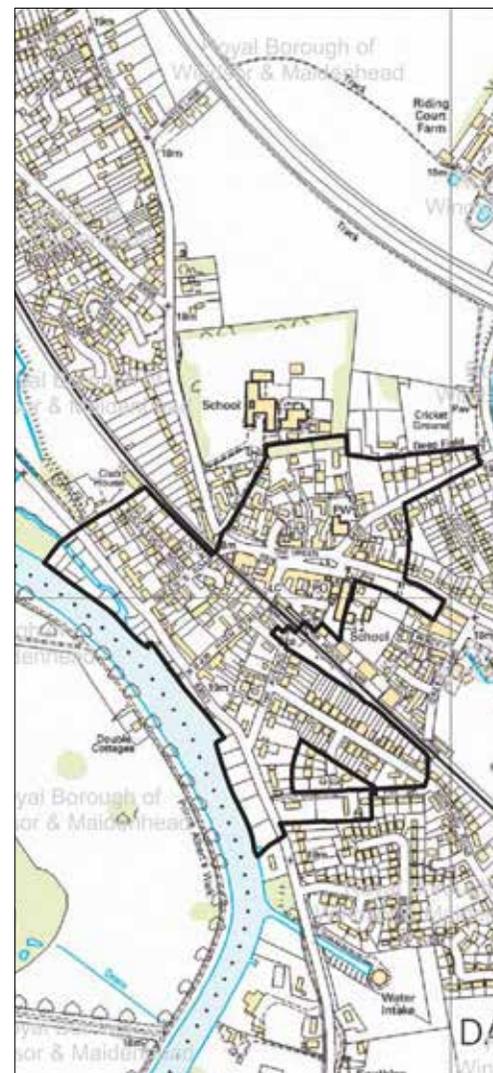
Heathrow Airport

2.3 Historic Environment

Datchet is well known for its historic village centre around the greens, streets connecting down to the Thames, and views towards Windsor Castle.

The historic core of the village is covered by a conservation area, and contains numerous listed buildings and structures. Applicants must familiarise themselves with the additional requirements and restrictions on development within this area as part of the preparation of their proposals. The Conservation Area Appraisal 1995 provides a wide range of information which can inform and enhance the design process for proposals in this area. Any development within the Conservation Area or in the setting of a listed building or important local building will need more attention regarding design. (See also Chapter 3.)

Character areas identified in Chapter 3 accord broadly with the four major periods of historic (pre-20th-Century) growth in Datchet, and provide a useful guide to key features in architectural detailing and layout which make these areas particularly successful, attractive and distinctive. Applicants should also be aware of the potential for significant archaeology throughout the area.



Map 2: Datchet Conservation Area boundary indicated by black outline



2. DATCHET WIDE DESIGN



Map 3: Datchet and Datchet Common 1833



Map 4: Datchet 1868



Map 5: Datchet Common 1868



Map 6: Datchet and Datchet Common 1881



Map 7: Datchet 1899



Map 8: Datchet Common 1899



Map 9: Datchet 1960s



Map 10: Datchet Common 1960s

3. CHARACTER AREAS

3.1 INTRODUCTION

3.2 HISTORIC CORE

3.3 RIVER CONNECTIONS

3.4 VICTORIAN SUBURBS

3.5 APPROACH ROUTES



Principle 2: Character Areas

There are four identified character areas:

- Historic Core (Section 3.2)
- River Connections (Section 3.3)
- Victorian Suburbs (Section 3.4)
- Approach Routes (Section 3.5)

Planning applications within these areas must, and those seeking to utilise its forms to support their design should, demonstrate how the application:

- responds to the positive and negative key features of the character area
- utilises and/or augments the materials palette of the character area
- integrates the architectural details and layout features identified in the character area image record and accompanying diagrams

Living in or close to a Character Area

Householder applicants who live in or in close proximity to a character area can use character area information to:

- understand the key layout features of the area and if their proposals will strengthen and enhance that character
- identify if there are any negative design issues in the area which their proposal could improve
- check whether their proposal includes materials which are within or are complimentary to the materials palette

Note: 'in close proximity' is defined as streets which connect into, or properties which are directly adjacent to the character area boundary. Final definition is at the discretion of the planning officer.

Retail and Commercial Development

Applicants seeking consent for retail or commercial properties, including change of use or alterations to existing properties can use character area information to:

- understand the key features of retail and commercial frontages within the character area
- identify if there are particular

negative design issues which could be ameliorated or avoided within their proposal

- check whether the proposal includes materials which are within or are complimentary to the materials palette

Where retail proposals are located in a character area where there are currently no retail frontages, or which is outside the four identified character areas, applicants should seek to use the examples within the 'Historic Core' character area and the advice provided within the 'shopfronts' section of Chapter 5 to guide their proposals.

New-Build Development

Applicants seeking consent for new build development can use the character area information to:

- identify existing layouts which are characteristic of Datchet
- identify the key architectural features and design detailing associated with different scales and types of properties
- understand the palette of materials across Datchet and how these could be utilised in new development.

3. CHARACTER AREAS

3.2 Historic Core

Introduction

The Historic Core character area includes the following key places:

- The Green
- St Mary the Virgin Church
- London Road (West)
- Horton Road (West)

Description

The Historic Core of Datchet sits within the northern section of the Conservation Area. The key feature of this area is The Green, including both the green space itself which was formed through the culverting of a stream and pond in the 1800s, and the properties surrounding this space including St Mary's Church and several which significantly predate The Green including the Manor Houses. Additionally this area includes the ends of two key routes connecting into The Green from the east, London Road (including the 18th-century listed wall originally belonging to Datchet House - the garden enclosed by the wall is now developed) and Horton Road including The Library.

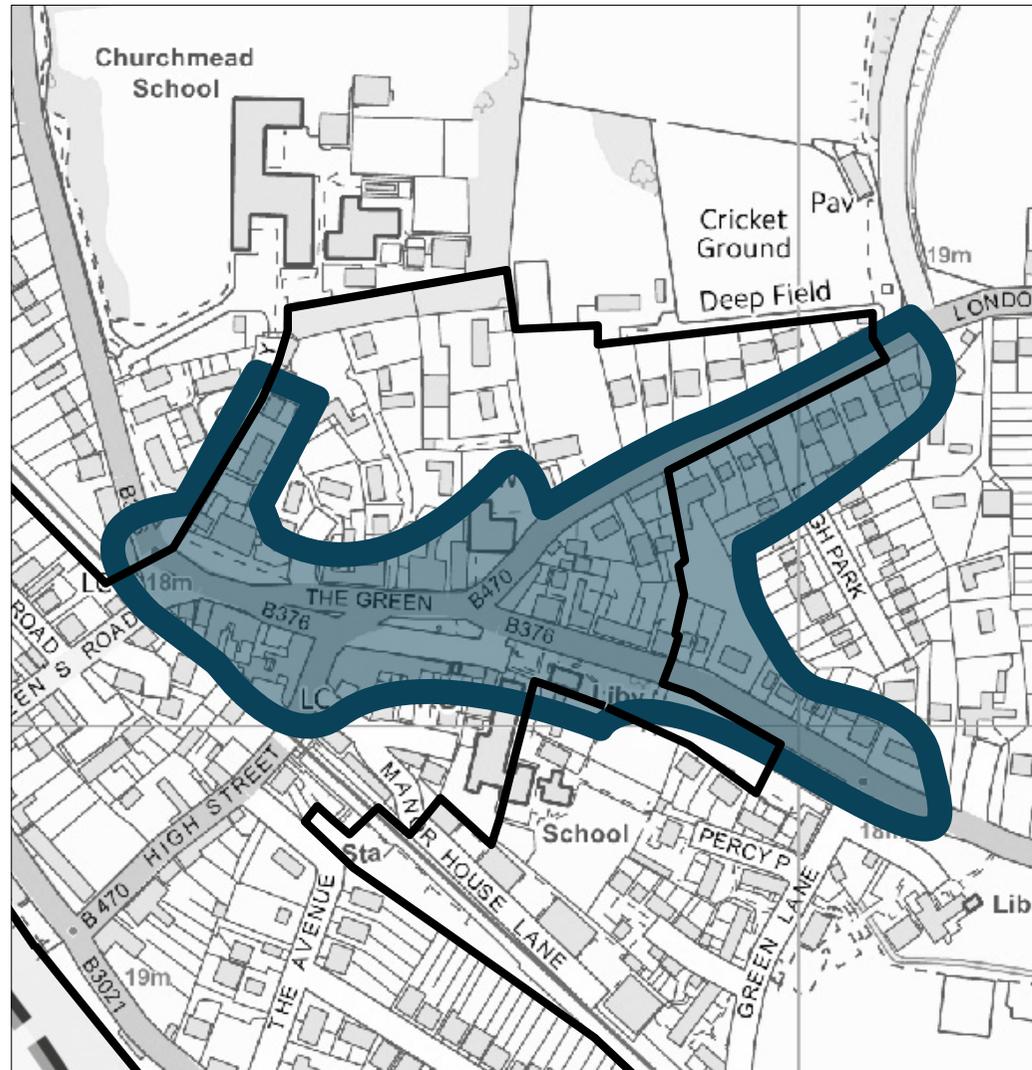


Diagram 2: Historic Core Character Area Boundary

Key Features of the Historic Core

Positive	Negative
Distinctive and decorative architectural forms (e.g. decorative gables) in locations where there is sufficient space for them to be appreciated from a distance.	Significant visual clutter, particularly excessive signage of all types and unnecessary boundary treatments which prevent pedestrian movement
Well-proportioned, privately-owned but publicly visible, front gardens and/ or parking areas on London Road with significant greenery within boundaries.	Narrow pavements and poorly located parking areas which negatively impact pedestrians and cyclists.
Numerous designated and non-designated heritage buildings with features of significant design value	Poorly designed contemporary commercial frontages which do not add visual interest, vibrancy or quality to the area.
The strong enclosure of The Green by 2/3 storey properties, giving a clear sense of arrival in the village centre and a distinct character.	The overall experience on The Green, London, Horton and Slough Roads caused by poor air quality, noise and standing traffic
Well-proportioned and detailed traditional shopfronts and examples of successful reuse of commercial properties (a bank) for alternative uses (an artist's studio).	It is difficult for pedestrians to cross the road due to a lack of crossing points (e.g. zebra crossings), excessive use of barriers and volumes/speed of traffic
Large mature specimen trees in both the central public space and private surrounding spaces, which add to the distinct character of The Green	Lack of visual connection (and therefore natural surveillance) between many of the commercial frontages and the street due to excessive use of window films.
Well considered inclusion of planting as part of residential frontage design.	
A range of distinctive decorative detailing on gates, walls, fascias and entrances.	
Reduction of vehicular through-traffic from routes around the edge of The Green.	

Materials Palette



Red clay, plain and fish-scale hanging tiles



Buff London Stock bricks



Decorative use of timber boarding on gables



Painted render



Red and orange hand-made bricks in character Flemish or English Bonds



Brick projecting string courses

3. CHARACTER AREAS

Image Record: Historic Core

Images demonstrating the positive features which enhance the character area.
Please note - this image record does not include shopfronts, please see Chapter 5



London Road frontages providing space for parking



Forest-scale trees on The Green



Cottage with garden frontage by railway crossing



The Manor Houses on The Green showing decorative enclosure and timber frontages.



Decorative barge boards on gable ends



Combined wall and decorative fencing to create visual interest and privacy.



Decorative entrance gates on Horton Road



Central green spaces with circulating traffic.



Well-proportioned wall, gatepost and gate, used in combination with hedging

Layout Examples: The Green



Gateway and key view into The Green



Green spaces within The Green



Visual edge of The Green



Boundaries between properties



Railway line

Diagram 3: The Green demonstrates the enclosure of the space and the way it is revealed through a series of gateways from key routes which connect into the space. It also demonstrates the important role that private spaces play in extending the visual scope of the space, making it feel much larger than the area which is publicly accessible.

3.3 River Connections

Introduction

The River Connections character area includes the following key areas:

- Queens Road
- High Street
- Windsor Road / Southlea Road

Description

The River Connections area sits within the southern section of the Conservation Area. The key feature of this area is The Thames riverbank which now forms the only area of public open space at the riverside (sometimes referred to as The Riverside Garden), and terminates the view at the southern end of High Street.

High Street, in combination with The Green, is the oldest part of Datchet, with numerous listed buildings. Historically it linked the village centre to the river crossing leading to Windsor.

This area contains two distinct forms, the narrow and well-defined north/south routes of High Street and Queens Road, and the larger, more eclectic mix of Windsor and Southlea Roads which are only developed on their northern side, facing towards The Thames.

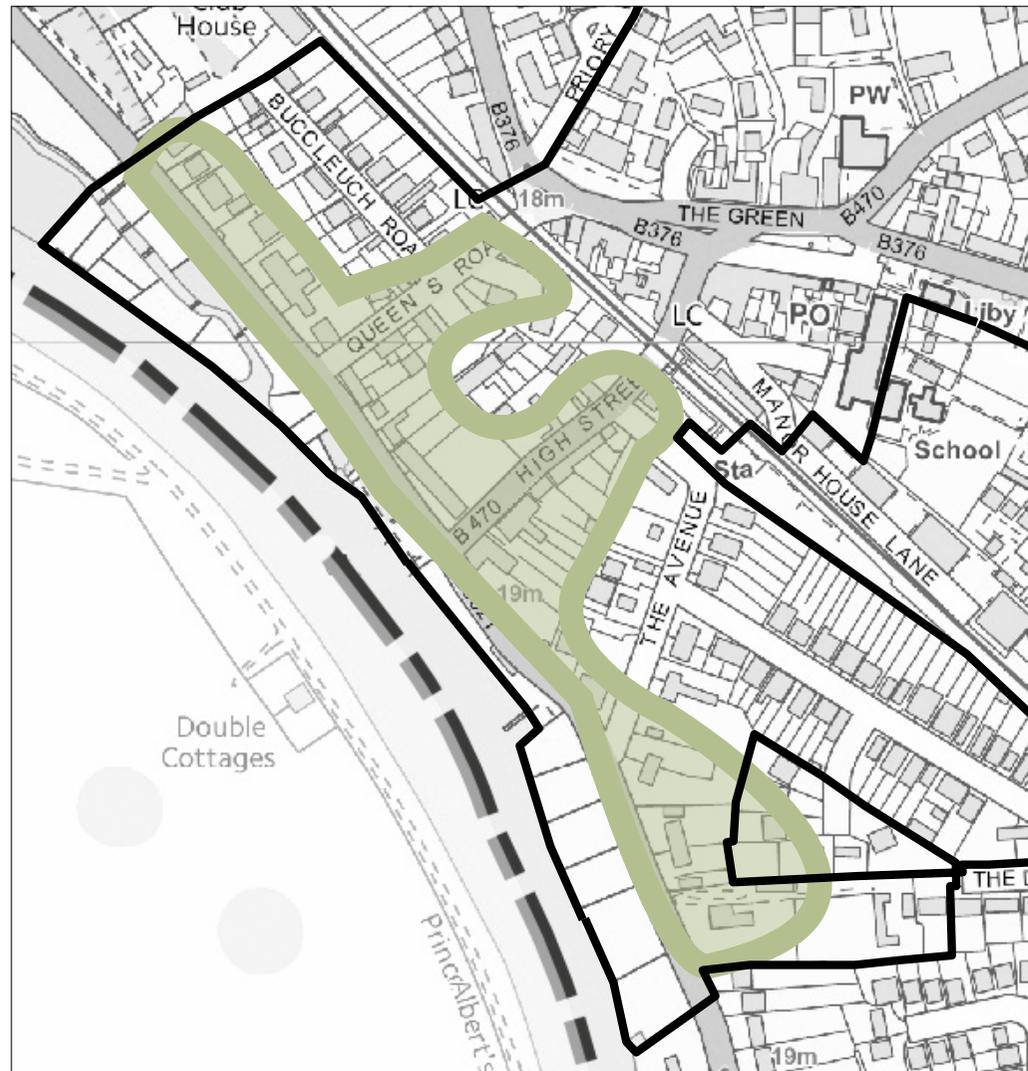


Diagram 4: River Connections Character Area Boundary

Key Features of the River Connections

Positive	Negative
High Street has a strong sense of enclosure due to its relatively narrow road width and 2/3 storey buildings combined with large trees on the western side	Some frontage enclosures have been lost on Queens Road and High Street to facilitate car parking within frontages.
Courtyard entrances combine walls with strong tree planting, creating a strong sense of enclosure on the western side of High Street, but with a softening effect created by the trees	Narrow (and in some areas non-existent) pavements create an unpleasant environment for pedestrians next to busy traffic, and are in places sufficiently narrow to be unpassable by those using mobility aids such as wheelchairs/pushchairs
The enclosure of the High Street creates definition to the open spaces of The Green and the river bank to the north and south and creates a sense of arrival.	The inclusion of high walls, particularly when combined with narrow pavements can feel overbearing in some areas of Queens Road
Use of decorative brick work	
Use of decorative metalwork, primarily gates and railings, but also including balcony enclosures	
Clearly defined entrances across the character area	
A large number of listed buildings of different styles and ages, particularly on High Street and the riverside	
Distinctive architectural features such as 'blind boxes' on south-facing windows, particularly Southlea Road	

Materials Palette



Extruded banded brick work and red brick (Flemish Bond)



London or yellow stock brick



Red brick



White painted stucco (early Victorian Roman Cement)



Metal work details



3. CHARACTER AREAS

Image Record: River Connections

Images demonstrating the positive features which enhance the character area.



Large setbacks used to accommodate car parking and retain gates



View along High Street towards The Green showing enclosure created by both properties and trees



Simple but well detailed and proportioned frontages on High Street. Note that infilled porch still retains the original proportions.



The public riverside garden



Balcony detailing on properties fronting Southlea Road and the River Thames



Ironwork railings and gates on High Street



Courtyard development retaining period features and providing a range of property types from a single street



Stone detailing, and double-height bay windows on High Street



Corner gate detailing on river frontage and blind boxes on windows

Layout Examples: River Connections



Diagram 5: Demonstrating how the enclosure of High Street and Queens Road creates definition to the open spaces of The Green and the public riverside gardens to the north and south and creates a sense of arrival in both locations.



Diagram 6: Key aspects of the layout of High Street

3.4 Victorian Suburbs

Introduction

The Victorian Suburbs character area includes the following key areas:

- Montagu Road
- The Avenue
- Buccleuch Road (north side)

Description

The Victorian Suburbs are an easily recognisable feature within the development of Datchet, and development of Datchet and represent the first significant expansion of the settlement following the arrival of the railway.

Distinct from later Victorian and Edwardian development (See Approach Routes character area), these Victorian Suburbs are not through routes, and have a quiet, residential character.

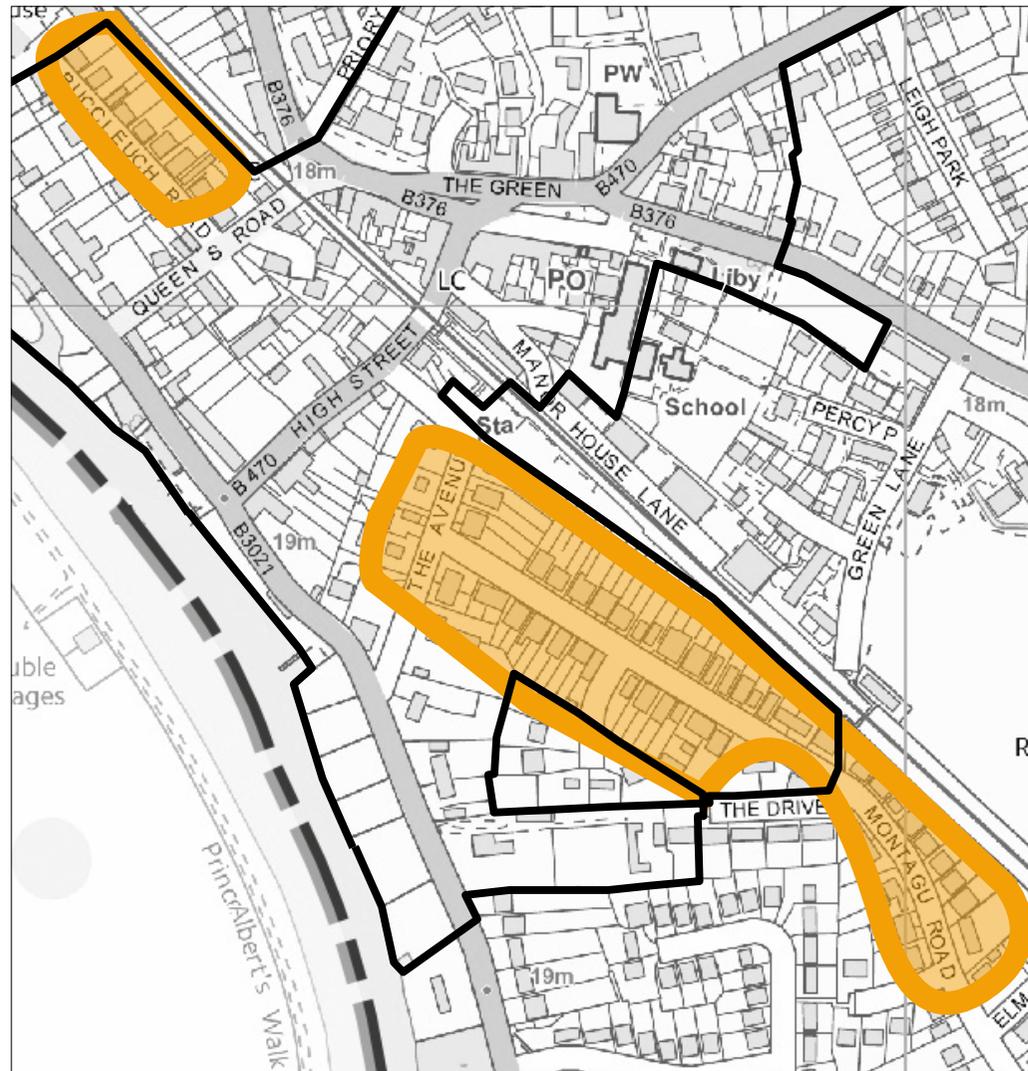


Diagram 7: Victorian Suburbs Character Area Boundary

Key Features of the Victorian Suburbs

Positive	Negative
Well-defined sense of enclosure with properties being 2/3 storeys.	There is significant on-street parking due to the small size of some front gardens.
The inclusion of street trees in combination with trees and planting in private gardens (Montagu Road) softens the streetscape, creates an attractive ambience and a perception of reduced road width	There are some poorly designed extensions which do not match the architectural proportioning of the original property.
Use of narrow plots and predominantly semi-detached layouts creates significant density without feeling cramped. (Montagu Road)	Verges and pavements between street trees are frequently used and in some instances damaged by car parking. (Montagu Road)
The use of planting as a deliberate feature to soften driveways and strengthen boundaries.	The retention or rebuilding of gateposts, but without the provision of gates frequently looks incongruous
Use of a simple palette of boundary treatments (walls and metal railings) provides a uniformity despite the addition of parking within many front gardens.	Frequent unnecessary complete coverage of front gardens with hardscaping to provide parking
Strong building lines which give clear definition to front garden spaces.	
Gables which front the street, often with decorative barge boards and finials	
Easily identified and decorative entrances, including on properties with side entrances	
Use of decorative brick work	
Bay windows to provide relief to the frontage, and inset porches	

Materials Palette



London or yellow stock brick



Red brick in Flemish Bond



Clay tiles (scalloped)



Contrasting brick banding details (buff and red brick)



Timber windows set behind a brick reveal



Decorative timber boarding on gables



3. CHARACTER AREAS

Image Record: Victorian Suburbs

Images demonstrating the positive features which enhance the character area.



Gable ends - including decorative barge boards and decorative brick work



Distinctive side porches and entrances



Boundary planting



Proportionate wall, gatepost and gate detailing



Decorative ridge tiles



Decorative metal railings on low brick walls with associated gates



Utilising red brick to match walling next to the curb, and parallel placement of the grate reduces its visual impact



Inset porch with bay windows



Use of planting to emphasise the entrance

Layout Examples: Victorian Suburbs

- Movement route along Montagu Road 
- Visual enclosure along Montagu Road 
- Boundaries between properties 

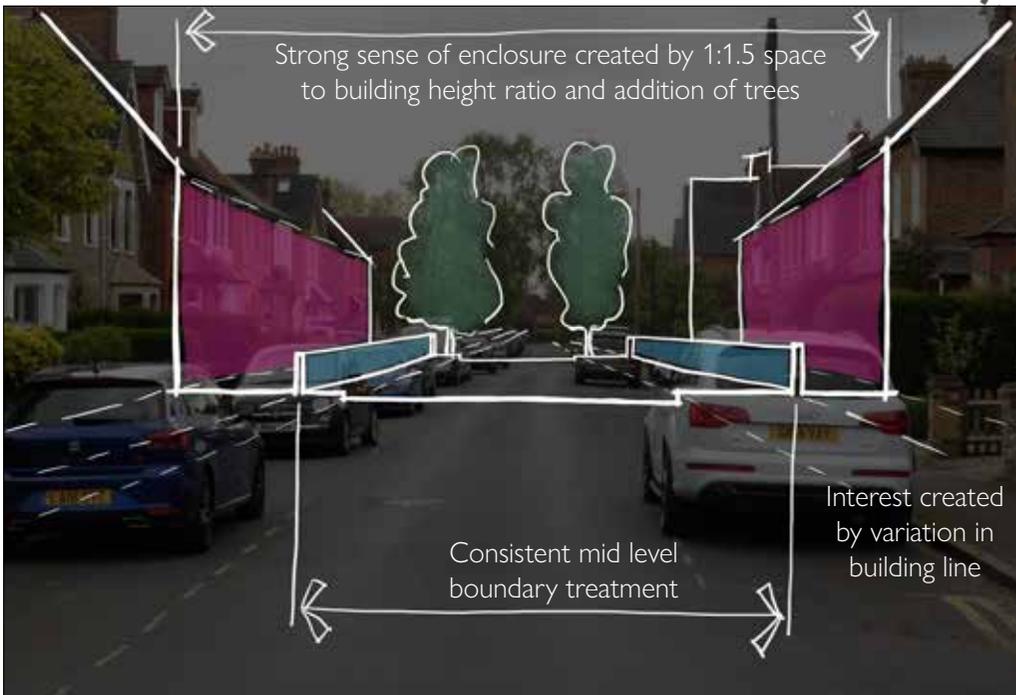


Diagram 8: Key elements which create the character of Montagu Road



Diagram 9: Demonstrating how the strong enclosure of the buildings of Montagu Road is enhanced by retaining boundary treatments and planting within the street and front gardens

3.5 Approach Routes

Introduction

The Approach Routes character area includes the following key areas:

- Slough Road
- Eton Road
- Horton Road & Penn Road

Description

The Approach Routes are primarily made up of Victorian and Edwardian properties. These areas demonstrate a number of effective approaches to design associated with high trafficked routes. Whilst there are several areas in Slough Road which have lower quality infill development, the overall impact of the Approach Routes is effective in delivering good-quality design across a mixture of property sizes.



Terraced housing on Horton Road within the 'Approach Routes' character area

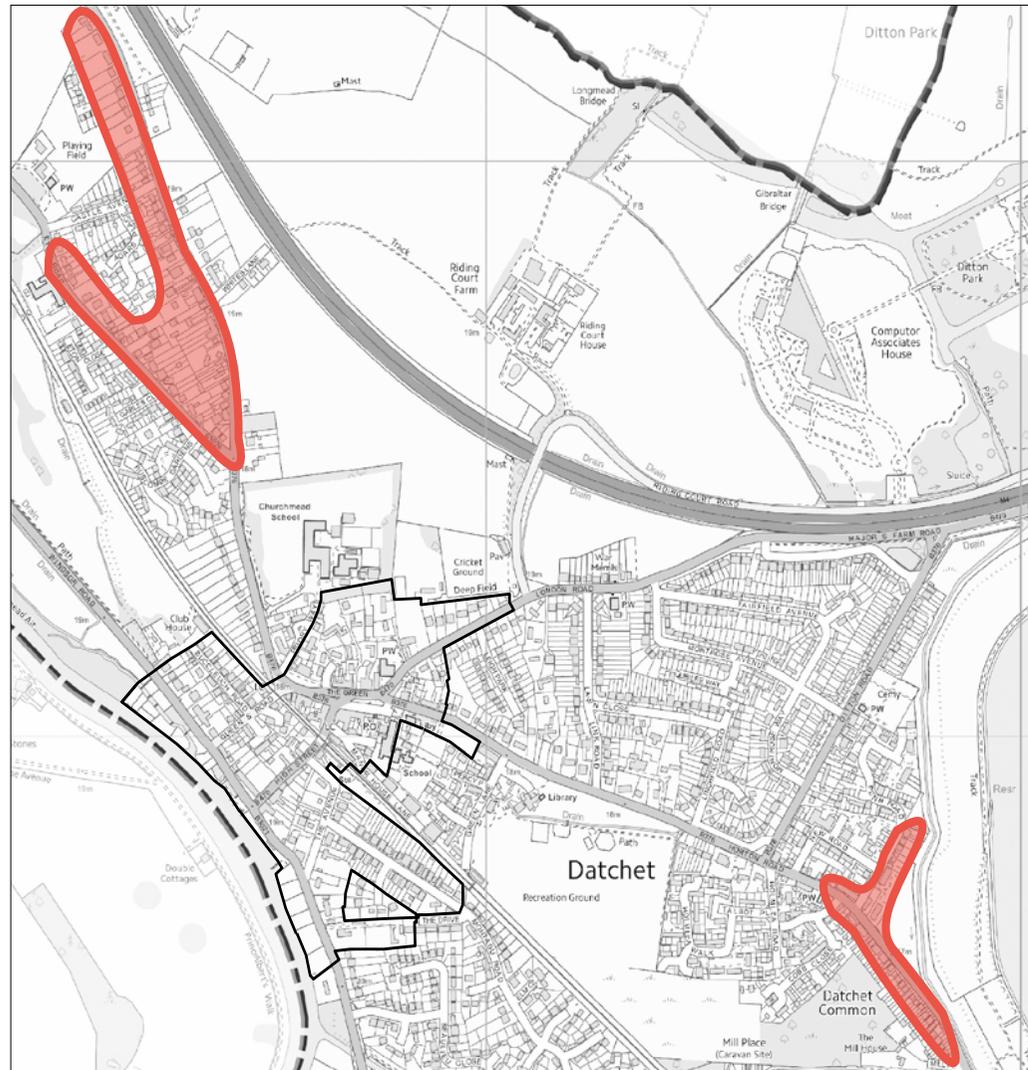


Diagram 10: Approach Routes Character Area Boundaries

Key Features of the Approach Routes

Positive	Negative
Unusual, but effective, staggered approach to layout for smaller Victorian homes which provides an attractive frontage on a busier through route and solar gain. (Slough Road & Eton Road)	Infill development sometimes inconsistent in scale and with poor design detailing compared to adjacent properties
Larger frontages with sufficient space for both parking and planting, and use of taller hedge planting in combination with walls, railings and fencing creates more robust boundary treatments suitable for a busier route (Slough Road & Eton Road)	Poor-quality parking arrangements in some areas (due in part to historic layout) which negatively impact the pavement environment and encourage poor parking behaviours in adjacent areas
Use of double-height bay windows and inset arched entrance porches (Eton Road & Penn Road)	The single-sided nature of these streets and limited space for on-plot parking (Slough Road and eastern Horton Road) has created problems with anti-social parking on grass verges opposite properties
Inclusion of larger trees and shrubs within front gardens close to boundaries, which have a positive impact on the streetscape. (Eton Road & Slough Road)	
Good mix of large and small, detached, semi-detached and terraced homes creating visual variety and a more inclusive feel.	

Materials Palette



Red brick (brickwork banding)



Slate roofs and red clay ridge tiles



Yellow or London Stock bricks



Dark-coloured wood or railing details



Render (Primarily Eton and Slough Roads)



Dark red brick (including extruded detailing)



3. CHARACTER AREAS

Image Record: Approach Routes

Images demonstrating the positive features which enhance the character area.



Larger homes with set-back parking areas and double-height bay windows



Semi-detached with single bay window, arched inset porch and retained boundary treatment with parking to the side



Terraced with small front gardens with boundaries retained. Slate roofs including dormer windows



Terraced homes with brickwork banding.



Decorative gables and hung tiles



Gables with decorative barge boards and decorative brick work



Brickwork banding carried through from original home onto a well proportioned extension (size compared to original and windows)



Single storey bay windows and tiled front entrances



Front garden enclosure, with clear entrance definition, arched porches and bay window

Layout Examples: Approach Routes

Movement route along Horton Road



Vehicular crossing of the pavement and loss of boundary treatment



Boundaries between properties



Diagram 11: Key elements of the layout of Eton Road



Diagram 12: Demonstrating the strong frontage definition of Horton Road, and the negative impact of removing front boundaries

4. DESIGN DETAILING

4.1 INTRODUCTION

4.2 WINDOWS & ENTRANCES

4.3 ROOFS & EXTERNAL DETAILS

4.4 RESIDENTIAL CAR PARKING

4.5 BOUNDARY TREATMENTS

4.6 SPECIMEN TREES

4.7 PLANTING PALETTE



4.1 Introduction

Introduction

The majority of design requirements related to the architectural details of buildings are set out in Local Plan and Borough Wide Design Guide Policy, and based on assessment of the individual property.

However there are several specific forms of design features which are particularly prevalent in and distinctive to Datchet, which this section seeks to highlight.

Principle 3: Architectural Detailing

All applications within Datchet should demonstrate how they contribute positively to the richness and variety of the built fabric of the settlement through the inclusion of locally specific detailing, including (but not limited to):

- Windows & Entrances (Section 4.2)
- Roofs & External Details (Section 4.3)
- Car Parking (Section 4.4)
- Boundary Treatments (Section 4.5)
- Planting Palette (Section 4.7)

4.2 Windows & Entrances

Bay Windows & Inset Entrances

Many properties across Datchet include bay windows (both single and two storey) in combination with inset porches. This was a feature of the late Victorian/Edwardian era, providing both architectural interest and the practical features of additional light into the home and a protected entrance.

This attractive combination could be successfully utilised in a contemporary way on both new-build properties and extensions. When designing these features it is critical to ensure correct proportion, and windows in particular should always be proportioned vertically and match any existing openings.



Example of a single bay window and inset porch

Porches

There are many excellent examples of porches across Datchet. These should be retained and replicated wherever possible, and designed with the opportunity for additional frontage planting in mind.



Example of decorative porches on side entrances and the use of climbing roses to provide interest without taking up parking space



Example of a keyhole shaped inset porch on



Simple and proportionate canopy porch

Blind Boxes

An uncommon feature of Datchet is the survival of blind boxes on some historic properties. These are merely decorative features now, following loss of their original sun blinds. However, reflecting the original idea, working blinds might protect the south-facing windows of contemporary houses as an alternative to modern *brise soleil* systems.



Example of an inset porch offering shelter, exterior storage and incorporating climbing planting without the loss of paved area



Example of blind boxes (originally containing larger sun shades) on a period property in Datchet



Example of replacement wooden sash windows with inset fitting

Window Design

Many properties across Datchet were originally built with traditional window designs. Vertically sliding sashes predominated between 1700 and 1914, though casement frames and older leaded lights sometimes feature. It is appreciated that functional traditional windows are comparatively expensive, but they are sometimes essential to protect the character of Listed Buildings or the Conservation Area.

Property owners are encouraged to:

- ensure window frames are proportioned to match any original windows in the property and/or surrounding area, even if the opening function differs from the original
- inset windows into the opening so the frontage does not look 'flat' and to improve the longevity of the window.
- retain traditional styling and use materials which are in keeping with the original property and/or surrounding area.

4.3 Roofs & External Details

Introduction

There is a wide range of architectural features on roofs and walls on homes throughout Datchet, which makes both a significant functional and decorative contribution to its street and spaces. This section highlights those features in order to encourage their retention and, where appropriate, reproduction.

The choice of materials used on the outside of any development or extension is important and should be in keeping with the appearance of the original building and/or surrounding area.



Example of a decorative finial on a gable end

Tile Hanging

Tile hanging is found throughout Datchet, and across south-east England generally, on properties dating from the end of the 17th century to the present day. Their original purpose was weather protection (they are sometimes referred to as weather tiles), and are predominantly used at first floor level and on gables.

Tile hanging in Datchet utilises plain terracotta tiles. The majority of properties use rectangular and/or half-circle shape tiles. There are good examples of pattern work in hanging tile to add interest.

Applicants are encouraged to continue this tradition which adds decorative interest and practical protection to the building.



Example of a combination of fish-scale hanging tile in terracotta at first floor level

Brickwork Detailing

Many Datchet properties, across numerous design periods, include brickwork detailing. This includes:

- decorative banding or string courses
- pattern work
- traditional bonds e.g. Flemish Bond, Garden Wall Bond etc.

Brickwork offers the opportunity to create texture, depth and interest on a façade and is to be encouraged. The most successful designs are relatively simple. Where a property already includes brickwork detail, applications for extensions should integrate this into any proposals, using materials that are in keeping with the appearance of the original building, and must be able to justify any absence.



Example of decorative brickwork



Gable & Roof Decoration

Gable rooflines are a prevalent, attractive and distinctive feature of both commercial (See Chapter 5) and residential properties throughout Datchet. Applicants are strongly encouraged to include these types of features to add visual interest. Roofs and gables should include the following features where appropriate:

- decorative barge boards
- finials
- king posts and crossbars
- decorative ridge tiles

Additional Fixtures & Fittings

Homeowners are strongly encouraged to consider the visual impact of items such as satellite dishes, solar and photovoltaic panels, and to place them discreetly on the rear of properties where possible.



Example of decorative ridge tiles and barge boards, combined finial and kingpost, and unique chimney design

Chimneys

There are numerous good examples of functional and visually interesting chimneys in Datchet. Wherever possible these should be retained, and the creation of new examples is encouraged. However the most important factor in the design of chimneys is that they are located where they would be required. The inclusion of false chimneys in locations where it would be impossible internally to provide a chimney stack will not be permitted.

Additional external chimneys such as those often fitted for the provision of woodburning stoves, should be designed to minimise their visual impact. In some locations the use of a non-metallic colour flue (for example black) may be more appropriate.



Example of a feature chimney design



Example of decorative brickwork banding



Example of decorative brickwork on Datchet Library



Example of proportionate, appropriately located and simply decorated chimney

4.4 Residential Car Parking

As levels of car ownership have increased, so have the number of property frontages which have replaced front gardens with areas of hard standing to facilitate car parking. This has the cumulative impact of:

- reducing the definition of the street (through the removal of walls, fences, hedges and gates),
- creating areas which look 'hard' (through the removal of planting and trees), and
- increasing the potential for flooding (through lack of permeability and increased water run-off).

Homeowners and those developing new properties are encouraged to consider the following when retrofitting or designing new residential parking areas:

- include as much frontage boundary treatment as practicable, completely open frontages should be avoided wherever possible
- where an open frontage is the only option, clear division between properties should be provided
- use of permeable surfaces such as gravel, pavers, resin bonded gravel and grasscrete
- planting should be retained/included wherever possible



Example of a secure car port with decorative gates



Example of separate pedestrian and vehicular gated access, with wall retained, providing parking and boundary definition



Example of gravel as a permeable surface treatment where complete coverage is required, which can also be planted through



Example of a side extension which includes an undercroft for parking and access to the rear of the property



Example of retaining dividing railings between driveways when removal of frontage boundaries is necessary to provide parking



Example of limited paving to provide access and parking, combined with planting to create visual interest, biodiversity and permeability



4.5 Boundary Treatments

Introduction

Applicants are strongly encouraged to retain the boundary treatments to the fronts of their properties, particularly for residential properties, as set out in Principle 9.1 of the Borough Wide Design Guide. There are many high-quality and creative examples of enclosure in Datchet which contribute to the overall character of the village. Applicants should demonstrate how their proposals contribute to that legacy.

Applicants should refer to contextual examples provided within the Character Area, and consider whether their property is located on a street with an urban or more 'leafy' character when considering whether a hard boundary treatment (walls or railings), or a softer approach (fences and hedges) are the most suitable form of enclosure. Railings may offer a good middle ground for urban locations and should be combined with planting to enhance front gardens.

Boundary treatments should always be appropriate in height, materials and design detail to the property and its surrounding area. The following sections provide locally specific advice regarding different types of boundary treatment.

Walls

There are many good examples of effective, proportionate and interesting wall designs within Datchet. Whilst walls may be more expensive to build, applicants are strongly encouraged to consider the benefits of longevity, security and beauty that a wall could provide.

Walls may be particularly appropriate in areas where front gardens are large or laid out in such a way as to encourage recreational use, the privacy benefits of a wall may be useful. It also gives a more 'urban' character.

Datchet also includes successful examples of low walls topped with railings or fencing. This may be a useful configuration in locations where large amounts of walling may be visually overbearing.

Owing to its ground water and fluvial flooding issues, Datchet includes examples of openings on walls which allow water to disperse more quickly. Inclusion of this type of feature is positively encouraged and ground level openings will be required for any new walls in areas of high flood risk to ensure the free flow of flood waters.



Example of a high quality, decorative fence



Example of both decorative railings, and the provision of a low wall topped with a simple railing



Example of openings in a boundary wall to allow water to pass through it in the event of flooding, and decorative brick banding

Railings & Fences

The use of railings and fences to enclose front gardens provides more visual permeability, and can be particularly attractive in locations where planting will be visible in the space beyond, giving a 'softer' appearance.

Applicants are particularly encouraged to consider the use of railings in locations where walls may take up too much space or a softer appearance may be appropriate. Railings require significantly less maintenance, and are longer lasting than equivalent fencing.

Where fences are used on the front of properties, they must be of a high-quality, and should not be of a 'close panel' type.

Both railings and fences (and their associated gates - see accompanying section) offer opportunities to provide visual interest through high quality detailing, and applicants are encouraged to include these features.

Gates & Gateposts

In addition to the general loss of frontage enclosure which has had a negative impact on the streetscapes of Datchet, the increase in car parking on frontages has also led to the loss of gates. However many frontages include new oversized gatepost features, despite there being no intention to hang a gate. This approach leads to a street which looks unfinished. The following is therefore recommended:

- where an enclosure includes gateposts, a gate should ideally be installed. This also offers an opportunity for positive personalisation of the property. Solid gates should generally be avoided.
- when building new enclosures, if gates are not being included, then neither should gateposts. Replicating piers within the wall may be appropriate.
- where residential properties front onto roads with a speed limit of 30mph or greater, new boundary treatments should provide complete enclosure, utilising gates, so that frontages can be secured. This is particularly important for family sized properties (i.e 2 bedrooms and larger).
- Gateposts should be an appropriate height, material and design, in keeping with the frontage.



Decorative wall, with proportionate gateposts and traditional gate design



Coordination between railings and gate, and gateposts and wall pillars.



Combination of a simple low wall and fencing with a coordinated gate and gateposts allow views of the garden beyond.

Utilities & Storage for Enclosure

Many residents now find they need to securely store a large range of items on their property which need to be easily accessible. These include (but are not limited to):

- bikes / pushchairs / scooters
- rubbish and recycling bins

Whilst the requirements and design recommendations for the provision of such storage is covered by the Borough-wide Design Guide (Chapter 9 and Principle 9.2), it is important to note that the provision of well designed, and where appropriate, integrated storage will be strongly supported in Datchet. New development which does not include such storage will be expected to provide evidence as to why this is not possible.

Applicants' attention is drawn to the opportunities to create such storage, when designing and building boundary treatments. There are numerous examples of successful integrated design throughout Datchet, and such efforts are strongly supported.



Example of coordinated bin store and fencing, with additional colour coordination with windows and doors.



Example of integrated bin storage and fencing, including planting to further soften the design



Example of integrated bin and bike storage as part of a boundary treatment

Hedges & Lower Level Planting for Enclosure

There are many areas in Datchet where hedges are used successfully as a form of enclosure on public frontages. These are predominantly in edge-of-settlement/rural locations, or in combination with other forms of enclosure (such as railings and low walls with railings) in more central locations.

Applicants are encouraged to include hedging within the design of frontages, but could also consider whether the maintenance requirements are appropriate for the type of property and those likely to live within it, and to utilise smaller leaved varieties which retain a compact look throughout the year. Applicants can find suggestions for recommendations for hedging and boundary planting in the Planting Palette, including varieties to enhance biodiversity and improve property security.

In situations where frontage garden space will be lost (typically in the provision of frontage parking), applicants are also strongly encouraged to include planting strips. These offer many of the benefits of including planting, as highlighted above, as well as visually strengthening boundaries.



4.6 Specimen Trees

One of the most noticeable features of many streets in Datchet is specimen trees. These trees are predominantly within the frontages of private properties but make a significant visual contribution to the public realm. In addition they also help mitigate flood risk, improve air quality, and protect and enhance biodiversity. Applicants should seek to include trees within their frontages whenever practical, and are encouraged to consider the many design options which allow trees to be located in hard landscaped spaces such as parking areas:

- tree pits
- permeable root coverings

Examples of suitable trees, including compact specimens for smaller residential gardens, are shown in the Planting Palette.



Examples of small leafed hedging varieties (left) and larger leafed varieties (right)



Boundary planting strip adding biodiversity, drainage and a softer look to a hard landscaping area for parking



Example of the successful use of well maintained hedging on a larger frontage outside the village centre



Example of a specimen tree which enhances the street but which is not within the adopted highway (Swedish Whitebeam)



Decorative permeable tree grill



Tree pits



Example of mature trees on private land making a positive contribution to the wider street (Copper Beech)



4.7 Planting Palette



Examples of Yew trees in the centre of Datchet



Example of a veteran Oak tree in the centre of Datchet



Example of a large Cedar in Datchet

Vegetation is a major component of the leafy character of Datchet and should be added to wherever possible. The following section provides advice on the planting which may be appropriate in Datchet. This section is advisory, and provided to inspire and assist applicants to create private spaces which make a positive contribution to the visual interest and biodiversity of Datchet.

Applicants are advised to consider issues such as climate change, wildlife, air pollution, soil type, topography and flood mitigation when making their selections. The use of plants and trees which occur locally can help to promote local distinctiveness. Non-invasive, wildlife-friendly species and native species are positively encouraged, where feasible, to protect and enhance biodiversity.

The following pages include suggestions for large, medium and small trees, hedging, climbers and upright shrubs.

Useful resources for more information include the Royal Horticultural Society, Gardeners' World, Plantlife, Woodland Trust and RSPB websites.

Larger Trees

While larger trees have the greatest visual impact on street character, they may not suit smaller private spaces. However when a development does include sufficient space for larger tree species, this will always be encouraged.

Tree species found in Datchet which may be appropriate include: beech, birch, cedar, copper beech, lime, oak, willow, sycamore.



Birch



Willow



Lime

Medium / Small Trees

Examples of tree varieties which are suitable for Datchet and may be appropriate for front gardens due to their smaller scale.



Magnolia



Acer



Amelanchier (multi stem)



Betula jacquemontii (Himalayan Birch)



Cercidiphyllum Japonicum



Hawthorn (Crataegus) pink or white



Cherry (Prunus)



Robinia pseudoacacia 'Frisia'



Sorbus aria (Whitebeam)



Lilac (Syringa)



Photinia

Hedging

Retaining or planting hedges can have environmental benefits such as helping to improve biodiversity, safeguarding against pollution and increasing connectivity between gardens and open spaces for wildlife. Planting a mixture of species in a hedge, such as evergreen and non-evergreen, flowering and non-flowering, can help to enhance biodiversity.

For pollution capture, particularly along busy roads, the following may be suitable: Common yew, Cotoneaster, Elaeagnus submacrophyllis (Limelight) and Western red cedar. Varieties which offer several environmental benefits include Beech (copper or green), Holly, Privet, Red Japanese rose and Western red cedar.



Example of hedging used in combination with a bespoke gate

For burglary crime prevention and to create a natural defence on side and rear boundaries, the following spiky varieties, recommended by Thames Valley Police, may be suitable: Berberis, Crataegus (Hawthorn), Chaenomeles, Ilex (Holly), Osmanthus, Pyracantha and Ribes.

Local wildlife group, Wild About Datchet, suggests Blackthorn and Hawthorn which are particularly good for thick hedgerows but can also grow as trees. Similarly Field Maple, Crab Apple, Hazel, Wild Privet and Rowan are good native hedgerow plants or can be planted as small/medium trees.



Privet



Yew



Mixed informal hedging



Holly



Blackthorn



Pyracantha



Beech



Hawthorn



Beech



Climbers & Upright Shrubs

Examples of flowering climbing plants which are found in Datchet and may be suitable in public facing areas.



Clematis



Wisteria



Chaenomeles



Jasmine



Hydrangea



Roses



Example of roses on a porch

5. SHOPFRONTS

5.1 INTRODUCTION

5.2 SHOPFRONT LAYOUT

5.3 DETAILING

5.4 EXTERNAL PUBLIC SPACES

5.5 SUCCESSFUL SHOPFRONTS



5.1 Introduction

Datchet has retained many attractive retail units including some which are listed heritage assets but also has, like many local centres, struggled to retain the overall quality of its shopfronts.

The loss of traditional frontage proportioning, the excessive use of window film and additions of oversized, flat, backlit plastic fascias have all contributed to the erosion of quality on commercial premises, and particularly on retail frontages.

Quality commercial frontages can create a visually-appealing and flexible showcase for the business the property supports, adding activity and vibrancy to the area as well as offering natural surveillance of the public realm.



Example of a contemporary approach to signwriting on a traditionally proportioned shopfront

Principle 4: Shopfronts

Applications for replacement shopfronts and/or new retail units must demonstrate that they meet the standards set out in Section 5.2 and Diagram 13: Shopfront Layouts.

Additionally the detailed features of the shopfront must demonstrate positive design (See Section 5.3) in relation to:

- projecting features
- lighting
- colour / finish
- signage
- shutters
- adhesive window films

The layout of the retail frontage must ensure a functional and attractive use of external public spaces where applicable (See Section 5.4)

5.2 Shopfront Layout

New or replacement shopfronts must demonstrate that they deliver the proportions and details set out in Diagram 13 in a manner in keeping with the architectural style and age of the property in which it is located.

Contemporary styles of shopfront, which utilise traditional proportions and details, albeit in a simpler style, will be supported. Examples of how this approach can deliver a range of different frontages is set out in Diagram 14.

It should be noted that there are a number of existing shopfronts which either form part of a listed building, are within the setting of one or are within the Conservation Area. In these circumstances, applicants are encouraged to seek early advice from officers, particularly as very contemporary design is unlikely to be considered appropriate.

However applicants may find that they are still able to achieve a contemporary aesthetic through good use of colour, typography and lighting, in combination with a traditional layout, detailing and materials.

Shop Frontage Diagram

Demonstrating traditional proportions and key design features which should be included within a shop front design.

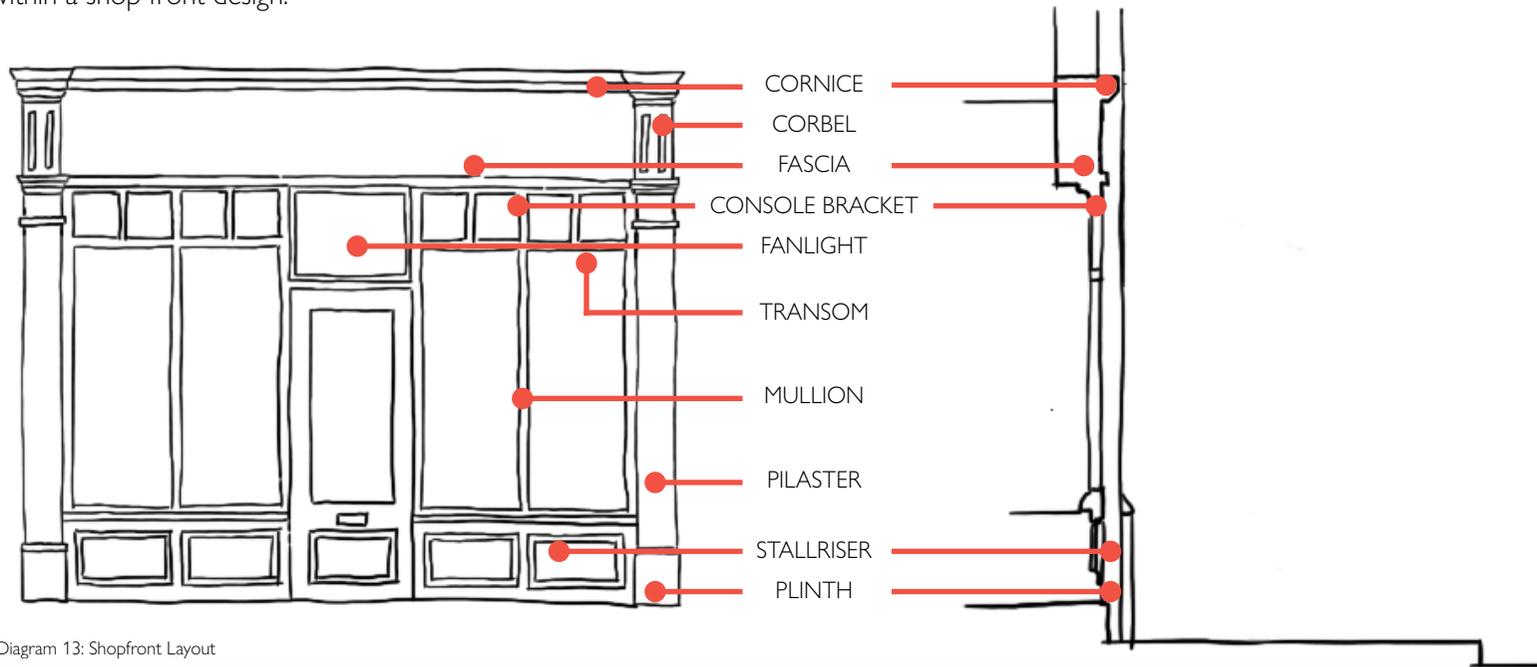


Diagram 13: Shopfront Layout

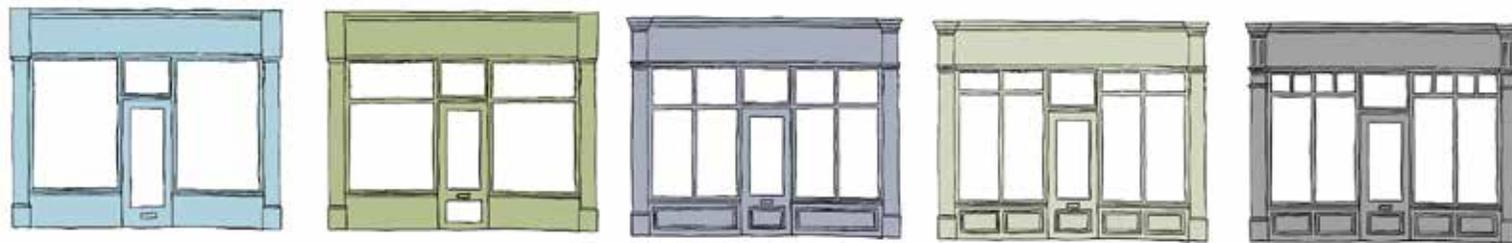


Diagram 14: Examples of how the same proportions and features can produce a range of shopfront styles, whilst retaining overall cohesion

5.3 Detailing

Projecting Features

Contemporary shopfronts frequently fail to include the detailed features which make traditionally designed shopfronts, like many found in Datchet, attractive. These detailed features are often those which extrude from the main building frontage, including:

- hanging signs (Diagram 15)
- awnings (Diagram 16)
- building mounted lighting (Diagram 17)

These features add visibility, practicality and visual interest to a shopfront and applications which include these types of features within a well-proportioned and detailed facade are strongly encouraged. Extruded features, being particularly prominent in the streetscene, should be of a high quality and design.

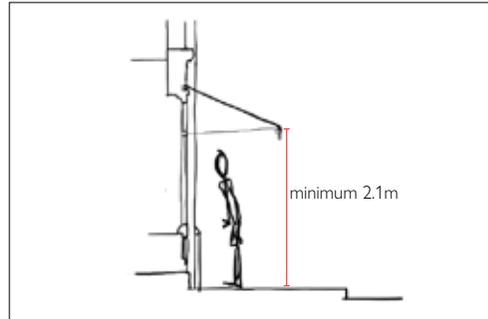


Diagram 16: Awnings, integrated into fascia, maintaining an overhead clearance of 2.1m

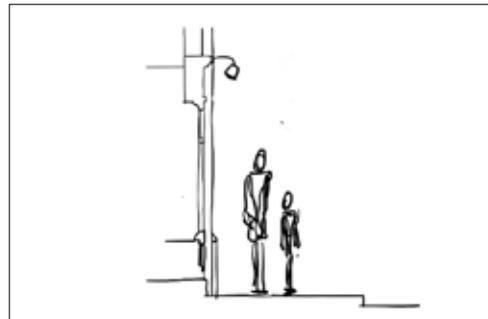


Diagram 17: Fascia downlighters

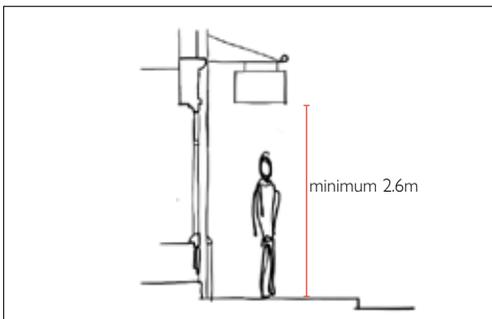


Diagram 15: Hanging signs, maintaining an overhead clearance of 2.6m

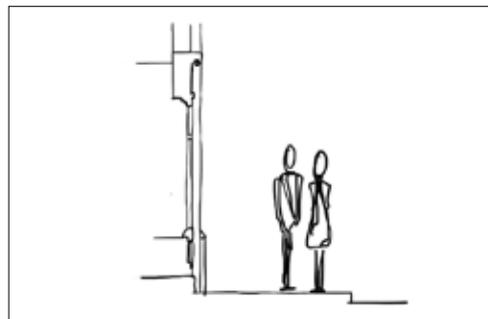


Diagram 18: Fascia lighting integrated into the cornice above the fascia

Awnings

Awnings (sometimes referred to as 'blinds') should be retractable and stored within an integrated 'blind box' within the base of the fascia. Their primary colour should match or coordinate with the base colour of the shopfront. A minimum of 2.1m of vertical clearance must be provided when awnings are extended. Fixed 'Dutch' type awnings will not be permitted.



Use of muted contemporary colour, extruded fascia lettering, and provision of an integrated sun awning

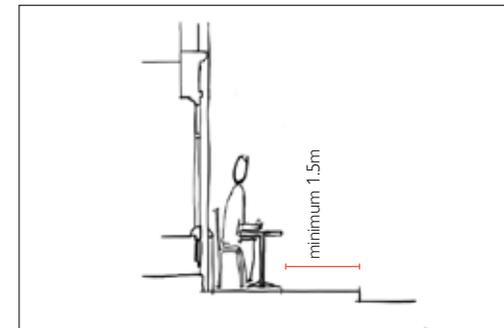


Diagram 19: External seating, maintaining a pavement clearance of 1.5m

Lighting

Where a shopowner wishes to include an illuminated element this must be integrated into a comprehensive design which meets the requirements of Section 5.2 / Diagrams 13 & 14. Particular care must be taken within the Conservation Area and on listed buildings.

Applicants can include:

- fascia downlighters either set within the cornice or bracketed individual downlights (Diagrams 17 & 18)
- backlit/halo lit (extruded) lettering on the fascia
- lighting within an internal window display provided it is angled into the window
- wall mounted downlights with a limited lighting angle, where a business operates during evening hours (e.g. restaurants, public houses) if street lighting can be demonstrated to be insufficient.

Applicants must not include:

- backlit box fascias or hanging signs
- wide angle outdoor lighting
- lit signage on a shop frontage or within a window display which flashes or appears to move



Traditional hanging signage incorporating contemporary signwriting and modern downlighters.



Internal lighting of the window display.



Integrated sun awnings allowing continued visibility of the fascia, contemporary signwriting on window and simple use of colour.

Shutters

The inclusion of security shutters within shopfronts is considered necessary by many business owners. Shutters have a negative impact on streets, reducing lighting, creating blank facades, and reducing surveillance. Businesses which require shutters should utilise one of the following design options:

- internal roller grilles which allow views into the shop. These should be used in conservation areas and on listed buildings
- external roller shutters flush mounted as part of the console bracket, not extruded from it, not suitable for listed buildings and in the conservation area
- Security grilles on recessed openings, such as inset doorways



Example of internal security grilles which provide security whilst providing visual interest and lighting to the street.

5. SHOPFRONTS

Colour

The use of colour can have a significant impact on the success of a shopfront.

Applicants are encouraged to:

- Utilise muted tones as base colours, particularly where large areas of colour need to be applied
- Limit brighter colours to smaller accent areas such as lettering, logo and hanging signage
- Consider the balance and contrast of colour across the whole building and any adjacent buildings, and seek to sympathetically complement the overall aesthetic



Example of high quality traditional signwriting (fascia and glazing) on the Datchet Village Pharmacy

Signwriting

Datchet has good examples of traditional signwriting and applicants are strongly encouraged to use this technique wherever possible, and particularly on traditional shopfronts on period buildings. Extruded individual lettering also offers a good alternative to signwriting by creating depth and interest on a flat fascia.

Applicants are strongly discouraged from using printed plastic sheets (particularly gloss surfaces) which completely cover the fascia, wherever possible, and box fascias must not be used (also see Lighting section)

Signage must be limited to the shopfront, and not included on walls above or to the side of the shopfront.



Contemporary signwriting and use of colour on a traditional shopfront, including additional window lettering and a hanging sign.



Contemporary shop front design with traditional proportions and detailing, extruded lettering and use of accent colour.



Contemporary shop front design with traditional proportions and detailing, simple signwriting including window lettering.



Simple white base colour and contemporary signwriting design, with individual downlighter

Adhesive Window Films

The practice of placing plastic adhesive film over the interior surface of windows in order to provide additional internal space for the display of goods is a significant problem. The use of window films:

- reduces natural surveillance of the street and creates blind spots
- reduces activity and vibrancy
- makes units look closed or unwelcoming to visitors

Therefore shopfronts must not apply window films which cover more than 50% of the glazed area of their frontage.

This requirement includes the use of vinyl which allows one-way visibility through the adhesive film.



Positive use of window films to create privacy whilst adding visual interest to the shop window

5.4 External Public Spaces

There is great opportunity for commercial frontages to animate their adjacent public realm with activity and visual interest. However there is also the potential for commercial activities to create clutter, cause obstruction, and encourage anti-social behaviour.

Therefore shopfront design should ensure that:

- A-boards should only be used as general business signage where it is not possible to accommodate appropriate hanging signage.
- promotional A-boards and outdoor seating may only be used when an unobstructed pavement width of 1.5m can be maintained. (Diagram 19),
- any boundary treatments around areas fronting commercial property (such as for seating areas), will only be permitted on private property, and must be in keeping with the enclosures advice contained in Chapter 4.
- any business serving take-away food, including 'mini-market' type businesses, must provide, or fund the provision of, a public litter bin adjacent to their commercial frontage, by agreement with the local authority.



Maintaining pavement access whilst providing external seating, plus contemporary use of colour and provision of an integrated awning



Maintaining pavement access whilst providing flexible external seating and using a promotional A-Board

5.5 Successful shopfronts in Datchet



Holistic frontage design, including traditional proportions and detailing, with signwriting and window design



Simple and clean signage on a heritage building where a standard piece of signage would be inappropriate



Well proportioned and detailed facade including feature clock



Simple and elegant sign writing and window lettering, appropriate fascia lighting, decorative internal security grills



Contemporary colour, typography, internal window blinds and window film within a traditional shopfront



Outdoor seating which maintains an appropriate pavement width



Appropriate use of window film and retention of attractive original door



Reuse of a former bank - contemporary signwriting, window lettering for additional detail, and internal security shutters



Reuse of a former pub - reuse of original hanging signage, simple and limited use of corporate branding on the building itself





Strategic Environmental Assessment Screening Report

Regulation 9

Datchet Design Guide SPD

Nov 2020

1. Introduction

- 1.1 The Royal Borough of Windsor and Maidenhead (RBWM) is proposing to prepare a Datchet Design Guide as a Supplementary Planning Document (SPD). This screening report will determine the need for a Strategic Environmental Assessment (SEA) in accordance with the European Directive 2001/42/EC and associated Environmental Assessments of Plans and Programmes Regulations 2004.
- 1.2 A Strategic Environmental Assessment is defined in the National Planning Policy Framework (NPPF) 2018 as: “a procedure (set out in the Environmental Assessment of Plans and Programmes Regulations 2004) which requires the formal environmental assessment of certain plans and programmes which are likely to have significant effects on the environment.”
- 1.3 This document’s purpose is to record the screening assessment undertaken by the Council for the Datchet Design Guide.

2. Design Guide SPD purpose and content

- 2.1 The NPPF states at para 124 that “The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this.”
- 2.2 Para 125 states that “Plans should, at the most appropriate level, set out a clear design vision and expectations, so that applicants have as much certainty as possible about what is likely to be acceptable. Design policies should be developed with local communities so they reflect local aspirations, and are grounded in an understanding and evaluation of each area’s defining characteristics. Neighbourhood plans can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development.”
- 2.3 The NPPF, in seeking to provide maximum clarity about design expectations at an early stage, states at Para 126 that Design Guides “provide a framework for creating distinctive places, with a consistent and high quality standard of design. However their level of detail and degree of prescription should be tailored to the circumstances in each place, and should allow a suitable degree of variety where this would be justified.”
- 2.4 The ambitions for the achievement of high quality development are also reflected in the design policies set out in the Council’s adopted, and emerging development plans. These policies set out broad or generalised direction of what high quality

design means for this Borough. However, they do not provide locally specific guidance.

2.5 The production of this area specific Design Guide will provide clear, detailed and specific design guidance to support Council decision making on planning applications for development in Datchet.

2.6 The Local Plan adopted in 1999, include the following saved design related policies from 2003:

2.7

- N1 Areas of Special Landscape Importance
- N2 Setting of the Thames
- N3 – Landscape Enhancement Area
- DG1 – Design Guidelines
- SF1 – Guidelines for Shopfronts
- SF2 – Blinds on Shopfronts
- SF3 – Security Shutters
- ADV1 – Display of Adverts
- ADV 2 – Display of Adverts
- E10 - Design and development Guidelines
- H10 – Housing Layout and Design
- H11 - Housing Density
- H12 – Subdivisions and Conversions
- H14 – House extensions
- T5 – New Developments and Highway Design
- P4 – Parking within Development
- WTC 4 – Townscape and redevelopment

2.4. The Datchet Wide Design Guide will set out guidance on a range of design principles to ensure high quality practice is delivered that reflect local distinctiveness in Datchet.

It does not set the level of development or allocate sites.

3. SEA Screening

3.1. A determination under Regulation 9 of the SEA Regulations is required as to whether the RBWM Datchet Design Guide is likely to have significant effects on the environment. This is determined by consultation with three statutory bodies: Historic England, Environment Agency and Natural England.

3.2. A HRA Screening Report was written for the submission RBWM Borough Local Plan (BLP) in 2017 and consulted on in summer 2017. The screening report concluded that the BLP was unlikely to have significant effects on the integrity of designated sites, and that therefore a full Appropriate Assessment of the plan was not required.

3.3. The SPD will not require a Sustainability Appraisal (SA), which National Planning Policy Guidance (Paragraph: 008 Reference ID: 11-008-20140306) states:

“Supplementary planning documents do not require a sustainability appraisal but may in exceptional circumstances require a strategic environmental assessment if they are likely to have significant environmental effects that have not already have been assessed during the preparation of the Local Plan.

A strategic environmental assessment is unlikely to be required where a supplementary planning document deals only with a small area at a local level (see regulation 5(6) of the Environmental Assessment of Plans and Programmes Regulations 2004), unless it is considered that there are likely to be significant environmental effects.

Before deciding whether significant environment effects are likely, the local planning authority should take into account the criteria specified in schedule 1 to the Environmental Assessment of Plans and Programmes Regulations 2004 (see *Table 1.1.*) and consult the consultation bodies.”

3.4. This screening report follows the criteria found in Table 1.1. below, which is based on the criteria found in the European Directive 2001/42/EC Annex II.

Table 1.1. Criteria assessment of SPD potential effects

Criteria	Assessment of SPD potential effects	Is there a significant effect?
The characteristics of the 'plans and programmes' having regard to:		
(a) the degree to which the plan or programme sets a framework for projects and other activities, either with regard to the location, nature, size and operating conditions or by allocating resources;	The overarching design framework is set by the Local Plan as further guidance, and as such will provide detail direct for future development. The SPD does not allocate resources, but helps to guide the design of local developments localised in nature .	N
(b) the degree to which the plan or programme influences other plans and programmes including those in a hierarchy;	The SPD conforms to the NPPF and provides more detailed guidance for the design policies in the council's adopted and emerging Borough wide Local Plans. While there will be other SPD's covering design, it is intended that they will complement each other. It is anticipated therefore that this SPD will not significantly impact other plans and programmes as it is	N

	intended to sit alongside and complement other SPD's and is only relevant for the area of Datchet.	
(c) the relevance of the plan or programme for the integration of environmental considerations in particular with a view to promoting sustainable development;	The SPD encourages enhancement and preservation of the environment and promotes good design.	N
(d) environmental problems relevant to the plan or programme; and	The key objective of this SPD is to promote good design that is relevant to the characteristics of Datchet. As such the SPD will have no significant impact on the environment as it has no relevance on spatial strategy input. This SPD is meant to be read alongside the Council's development plan.	N
(e) the relevance of the plan or programme for the implementation of Community legislation on the environment (e.g. plans and programmes linked to waste management or water protection).	The SPD has no direct relevance to the implementation of European environmental legislation.	N
Characteristics of the effects likely having regard, in particular, to:		
(a) the probability, duration, frequency and reversibility of the effects;	The SPD aims to encourage high quality design development. Development therefore will be expected to follow the Guide to be appropriately designed, considering impacts on amenity, character, environment, heritage etc. It is not predicted for the SPD to contain long-term negative effects.	N
(b) the cumulative nature of the effects;	The SPD seeks to have positive cumulative effects.	N

(c) the transboundary nature of the effects;	No effects identified.	N
(d) the risks to human health or the environment (e.g. due to accidents);	The SPD will have no significant effects to human health or the environment. Instead there is expected to be a positive impact by promoting and maintaining well designed places.	N
(e) the magnitude and spatial extent of the effects (geographical area and size of the population likely to be affected);	The magnitude and spatial extent of any effects is not expected to be significant because of the localised nature.	N
(f) the value and vulnerability of the area likely to be affected due to – (i) special natural characteristics or cultural heritage; (ii) exceeded environmental quality standards or limit values; or. (iii) intensive land-use; and	Sites are assessed against relevant policies. The SPD will not set policy related to specific land use and will not influence the principle of development, but instead it will be a guide to developers design techniques. This includes preserving cultural heritage.	N
(g) the effects on areas or landscapes which have a recognised national, Community or international protection status.	<p>The SPD is not expected to adversely impact on landscape which have national, community or international protection. borough, namely:</p> <ul style="list-style-type: none"> • Chiltern Beechwoods SAC • South West London Water Bodies SPA and Ramsar • Thames Basin Heaths SPA • Thursley, Ash, Pirbright & Chobham SAC (part of the Thames Basin Heaths SPA) • Windsor Forest and Great Park SAC <p>The BLP HRA Screening identified that only designated sites within 5km of proposals or plans may possibly suffer significant effects from the plan.</p>	N

4. Conclusion

- 4.1. In its current form, the Council consider that the Datchet Design Guide SPD is unlikely to have significant environmental effects. Therefore the SPD does not require a SEA to be undertaken.

Table of proposed changes to Datchet Design Guide to enable adoption

December 2020

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
Front Cover	1	-		Delete text 'Consultation draft November 2019'. Replace with 'February 2021' Image to be lightened.
Table of Contents	3	-		Change heading of Chapter 4 to '4. Design Detailing'. Change 'Roofs and Walls' to 'Roofs and External Detail'. Folios to be updated.
Picture captions				Picture caption text to be made more legible throughout
Sign-posting				Coloured dots denoting sections to be made consistent throughout.
1 Why Design in Datchet	7	1.2 Strategic Design Themes		Delivering Sustainable Places section, add to last sentence: 'that takes into account climate change, biodiversity and flooding issues as covered in the

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
				Borough Wide Design Guide (Principle 11.1), the Borough Local Plan, the National Design Guide and National Planning Policy Framework.'
1	9	1.4 User Guide		Revise Commercial Property paragraph to clarify advice applies to retail. Replacement text: 'Those making applications for change of use to retail use, new retail property or amendments to existing retail property (including change of use) must pay particular attention to Chapter 5. The detailing information in Chapters 3 & 4 may also be relevant to general commercial applications. Further advice can also be found in Chapter 12 of the Borough Wide Design Guide.'
1	8	1.3 Policy Status		Delete first paragraph and insert the following text: 'The DDG is a parish-wide design guide which has been adopted by the Royal Borough as a Supplementary Planning Document (SPD) to support Local Plan ¹ policies. It has also been prepared to support emerging policies in the draft Borough Local Plan ²
1	9	1.4 User Guide		Replace Designated Heritage Assets paragraph with the following text: 'Heritage Assets Applications for, or within the setting of, a designated heritage asset are advised to consult the Conservation Officer before committing significant resources to design. Not all elements of the Design Guide are appropriate for all heritage assets.'

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
2 Datchet Wide Design	12	2.1 Introduction		<p>Add second paragraph of Rural Areas (which applies to the whole of Datchet) to the end of the introduction paragraph. In the bullet-point list, add an asterisk to Flood risk. At the end of the section, add the following text: ‘*The challenges created by flooding are recognised as a significant issue throughout the parish, impacting both its rural areas and the centre of Datchet. It is essential that development does not exacerbate flooding problems, and where possible should provide alleviation. Applicants should consult information provided by the Environment Agency (www.gov.uk/check-flood-risk) and utilise the detailed design advice set out in Chapter 11 of the Borough Wide Design Guide.’</p> <p>Delete the image of village centre. Move Principle box to right of page.</p>
2	12	2.2 Rural Areas		<p>Minor revision to 1st paragraph. Delete ‘there are’ and ‘which’. In 2nd paragraph, delete ‘within these areas’. Replace with ‘within both urban and rural areas’. In 3rd paragraph, first bullet point, delete ‘in Chapter 3’. At end of sentence add ‘(See Chapter 3.)’ Delete second bullet point text. Replace with ‘ensure the project meets the detailing requirements in Chapter 4.’</p>
2	12		1	<p>Replace Principle 1: Datchet-Wide Design text with the following: Applicants must ensure that they respond positively to the advice provided in regard to any new development in Datchet, in urban, rural and historic settings.</p>

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
2	13	2.3 Historic Environment		<p>1st paragraph, delete ‘across the river’ and ‘and Home Park’.</p> <p>2nd paragraph, delete ‘and be aware of the potential for significant archaeology’. (Reinserted in 3rd paragraph below.) Insert at end of 2nd paragraph: ‘Any development within the Conservation Area or in the setting of a listed building or important local building will need more attention regarding design. (See also Chapter 3.)’</p> <p>Revise 3rd paragraph: ‘Character areas identified in Chapter 3 accord broadly with the four major periods of historic (pre-20th-Century) growth in Datchet, and provide a useful guide to key features in architectural detailing and layout which make these areas particularly successful, attractive and distinctive. Applicants should also be aware of the potential for significant archaeology throughout the area.’</p>
3 Character Areas	17	3.1 Commercial Development		<p>Paragraph 1, change ‘commercial’ to ‘retail and commercial’</p> <p>Paragraph 2, change text to ‘Where retail proposals are located in a character area where there are currently no retail frontages’</p>
3	19	3.2 Historic Core		Delete image of bricks from materials palette. Replace with image of decorative timberwork.

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
3	27	3.4 Victorian Suburbs		Add image of decorative timberwork.
3	32	3.5 Approach Routes		Replace image of gable and front-facing dormer window with and image of gable. Revise picture caption: 'Decorative gables and hung tiles'.
4 Design Detailing	35	4 Design Detailing		Revise section order: 4.1 Introduction 4.2 Windows & Entrances 4.3 Roofs and External Details 4.4 Residential Car Parking 4.5 Boundary Treatments 4.6 Specimen Trees 4.7 Planting Palette
4	36		3	Update section references: Windows & Entrances (Section 4.2) Roofs & External Details (Section 4.3) Car Parking (Section 4.4) Boundary Treatments (Section 4.5) Planting Palette (Section 4.7)

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
4	37	4.2 Window Design		Remove image showing uPVC sash window and replace with image of property with wooden sash windows and revise picture caption to include the word 'wooden'. Add third bullet point: 'retain traditional styling and use materials which are in keeping with the original property and/or surrounding area.'
4	38	4.3 Roofs and walls, Introduction		Change section heading to Roofs and External Details. Insert at end of 1 st paragraph: 'The choice of materials used on the outside of any development or extension is important and should be in keeping with the appearance of the original building and/or surrounding area.'
4	38	4.3 Roofs and Walls, Tile hanging		1 st paragraph, 2 nd sentence, change to: 'Their original purpose was weather protection' 3 rd paragraph, change to: 'Applicants are encouraged to continue this tradition which adds decorative interest and practical protection to the building.'
4	38	4.3 Roofs and Walls, Brickwork detailing		2 nd paragraph. After 1 st sentence, insert: 'The most successful designs are relatively simple.' 2 nd sentence, after 'proposals', insert 'using materials that are in keeping with the appearance of the original building'

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
4	40	4.4 Boundary Treatments, Walls		<p>Renumber this section 4.5 and reorder sections.</p> <p>4th paragraph delete 'decorative'. At end of paragraph, insert 'and ground level openings will be required for any new walls in areas of high flood risk to ensure the free flow of flood waters.'</p>
4	43	4.4 Boundary Treatments Specimen Trees		<p>Make Specimen Trees a separate section, 4.6, and reorder sections.</p> <p>1st paragraph, after 'air quality and', insert 'protect and enhance'</p> <p>Add species details to picture captions of Swedish Whitebeam and Copper Beech. Insert images of notable trees in Datchet.</p>
4	45	4.5 Residential Car Parking		<p>Renumber this section 4.4 and reorder to keep planting sections together.</p>
4	45	4.6 Planting Palette		<p>Renumber this section 4.7 and reorder.</p> <p>Insert additional text after 1st paragraph: 'Applicants are advised to consider issues such as climate change, wildlife, air pollution, soil type, topography and flood mitigation when making their selections.'</p> <p>'The use of plants and trees which occur locally can help to promote local distinctiveness. Non-invasive, wildlife-friendly species and native species are positively encouraged, where feasible, to protect and enhance biodiversity.'</p>

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
				<p>'The following pages include suggestions for large, medium and small trees, hedging, climbers and upright shrubs.</p> <p>'Useful resources for more information include the Royal Horticultural Society, Gardeners' World, Plantlife, Woodland Trust and RSPB websites.'</p>
4	45	4.6 Planting Palette Larger Trees		<p>Amend typographical error 'been' to 'be'.</p> <p>Delete species and location list. Replace with 'Tree species found in Datchet which may be appropriate include: beech, birch, cedar, copper beech, lime, oak, willow, sycamore.' Include appropriate images to illustrate.</p>
4	45	4.6 Planting Palette Medium/Small Trees		<p>Remove images of pyrus, quercus fastigiata, and liquidambar. Replace with Hawthorn, Lilac and Photinia.</p>
4	46	4.6 Planting Palette Hedging		<p>Add folio. Insert the following text:</p> <p>'Retaining or planting hedges can have environmental benefits such as helping to improve biodiversity, safeguarding against pollution and increasing connectivity between gardens and open spaces for wildlife. Planting a mixture of species in a hedge, such as evergreen and non-evergreen, flowering and non-flowering, can help to enhance biodiversity.'</p>

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
				<p>‘For pollution capture, particularly along busy roads, the following may be suitable: Common yew, Cotoneaster, Elaeagnus submacrophyllis (Limelight) and Western red cedar. Varieties which offer several environmental benefits include Beech (copper or green), Holly, Privet, Red Japanese rose and Western red cedar.</p> <p>‘For burglary crime prevention and to create a natural defence on side and rear boundaries, the following spiky varieties, recommended by Thames Valley Police, may be suitable: Berberis, Crataegus (Hawthorn), Chaenomeles, Ilex (Holly), Osmanthus, Pyracantha and Ribes.</p> <p>‘Local wildlife group, Wild About Datchet, suggests Blackthorn and Hawthorn which are particularly good for thick hedgerows but can also grow as trees. Similarly Field Maple, Crab Apple, Hazel, Wild Privet and Rowan are good native hedgerow plants or can be planted as small/medium trees.’</p> <p>Delete image of Escallonia. Insert images of hedging species listed.</p>
4	46	4.6 Planting Palette, Climbers		Change heading to ‘Climbers and upright shrubs’. Replace image of Camellia with Clematis.
5 Shopfronts	48	5.2 Shopfront Layout		Insert ‘and materials’ at end of last paragraph so it reads ‘traditional layout, detailing and materials.’

Chapter	Page number (draft version)	Paragraph, table, figure or image reference	Principle No.	Proposed change
5	49	5.2 Shopfront Layout, Shop Frontage Diagram		Amend diagram so the console bracket is correctly indicated.
5	50	5.3 Detailing, Projecting Features		2 nd paragraph, 2nd sentence, insert 'and design': 'It is particularly important that extruded fixtures are of a high quality and design'. Correct the section reference in second paragraph to 5.3
5	51	5.3 Detailing, Lighting		Replace centre image in middle column.
5	52	5.3 Detailing, Colour		Correct typographical error and insert 'sympathetically' so text reads 'sympathetically complement the overall aesthetic.'